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AGENDA

Committee	PLANNING COMMITTEE
Date and Time of Meeting	WEDNESDAY, 10 AUGUST 2022, 1.30 PM
Venue	CR 4, COUNTY HALL - MULTI LOCATION MEETING
Membership	Councillor Stubbs (Chair) Councillors Humphreys, Ahmed, Hunt, Jones, Joyce, Naughton, Reid-Jones, Robson, Sattar and Wong

1 **Apologies for Absence**

2 **Declarations of Interest**

To be made at the commencement of the agenda item in question, in accordance with the Members Code of Conduct.

3 **Minutes**

To approve as a correct record the minutes of the meeting held on 6 July 2022.

4 **Petitions**

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

22/00725/MJR, WHITCHURCH HOSPITAL, PARK ROAD, WHITCHURCH

22/00802/MJR, LAND TO THE NORTH-WEST OF WHITCHURCH HOSPITAL PLAYING FIELDS

22/00885/MNR, 76 MAINDY ROAD, CATHAYS

22/00711/MNR, 100 SPLOTT ROAD, SPLOTT

5 Development Control Applications

a 22/00725/MJR, WHITCHURCH HOSPITAL, PARK ROAD, WHITCHURCH

b 22/00802/MJR, LAND TO THE NORTH-WEST OF WHITCHURCH HOSPITAL PLAYING FIELDS

c 22/00711/MNR, 100 SPLOTT ROAD, SPLOTT

d 22/00885/MNR, 76 MAINDY ROAD, CATHAYS

e 18/00736/MNR, 71 CHURCH ROAD, WHITCHURCH

6 Applications decided by Delegated Powers - July 2022

7 Urgent Items (if any)

8 Date of next meeting - 8 September 2022

Davina Fiore

Director Governance & Legal Services

Date: Thursday, 4 August 2022

Contact: Kate Rees, 029 20872427, krees@cardiff.gov.uk

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PLANNING COMMITTEE

6 JULY 2022

Present:

Councillors Ahmed, Humphreys, Hunt, Jackie Jones, Joyce Naughton, Reid-Jones, Robson, Sattar and Wong

12 : APOLOGIES FOR ABSENCE

Apologies for absence were received from Councillor Ed Stubbs.

Councillor Humphreys nominated Councillor Garry Hunt to Chair this item as she had declared a personal interest in the application for Whitchurch Hospital, Park Road.

Councillor Wong seconded the nomination and Councillor Garry Hunt took the Chair.

13 : DECLARATIONS OF INTEREST

The following declarations of interest were received in accordance with the Members Code of Conduct.

COUNCILLOR	ITEM	NATURE OF INTEREST
Cllr Irene Humphries	22/00475/MJR – Whitchurch Hospital	Personal & Prejudicial Interest – sits on the Cardiff & Vale Health Council who support the application
Cllr Jackie Jones	22/00475/MJR – Whitchurch Hospital	Personal & Prejudicial – speaking as a Ward Councillor
Cllr Jackie Jones	18/00736/MNR – 71 Church Road	Personal & Prejudicial – speaking as a Ward Councillor

14 : MINUTES

The minutes of the 15 June 2022 were approved and signed as a correct record.

15 : PETITIONS

1. 22/00475/MJR, Whitchurch Hospital, Park Road Whitchurch
2. 18/00736/MNR, 71 Church Road, Whitchurch
3. 22/00885/MNR, 76 Maindy Road, Cathays

In relation to 1 – The Committee agreed to suspend standing orders (Planning Committee Procedure Rules) in order to allow the petitioner and agent to speak again on the application.

16 : DEVELOPMENT CONTROL APPLICATIONS

The Committee considered the schedule of development control application submitted in accordance with the Town and Country Planning Act 1990.

RESOLVED: Pursuant to this Committee's delegated powers the following development control applications be determined in accordance with the recommendation set out in the reports of the Director of Planning, Transport and Environment, subject to any further amendments as detailed below and notification be given of the decisions in accordance with Section 70 of the Town and Country Planning Act 1990 or Section 74 of the Planning (Listed Building & Conservation) Act 1990.

APPLICATIONS GRANTED

22/00475/MJR – WHITCHURCH & TONGWYNLAIS

WHITCHURCH HOSPITAL, PARK ROAD

Discharge of condition 9 (scheme of highway works to Park Road and the Whitchurch Hospital entrance) of 20/01110/MJR

APPLICATIONS DEFERRED

18/00736/MNR – WHITCHURCH & TONGWYNLAIS

71 CHURCH ROAD

Proposed demolition of existing garage / outbuilding construction of new 2 storey detached dwelling, detached replacement garage with studio above and glazed link to existing dwelling

REASON: In order for officers to draft reasons for refusal.

22/00885/MNR – CATHAYS

6 MAINDY ROAD

Change of use from a C3 dwelling house to eight person house in multiple occupation (sui generis), with ground and first floor rear extensions, rear dormer roof extension, insertion of roof light to the front roof plane and associated alterations

REASON: In order for officers to draft reasons for refusal.

17 : APPLICATIONS DECIDED BY DELEGATED POWERS

Noted

18 : URGENT ITEMS (IF ANY)

None

19 : DATE OF NEXT MEETING - TBC

10 August 2022

The meeting terminated at 4.13 pm

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PETITION

COMMITTEE DATE: 10/08/2022

APPLICATION No. **22/00725/MJR** APPLICATION DATE: 08/04/2022ED: **WHITCHURCH/TONGWYNLAIS**

APP: TYPE: Discharge of Condition(s)

APPLICANT: Velindre NHS University Trust
LOCATION: LAND TO THE NORTH-WEST OF WHITCHURCH HOSPITAL
PLAYING FIELDSPROPOSAL: DISCHARGE OF CONDITION 8 (CONSTRUCTION
ENVIRONMENTAL MANAGEMENT PLAN) & 10 (MITIGATION
AND MONITORING) OF 20/01110/MJR

RECOMMENDATION: That conditions 8 (Construction Environment Management Plan), and 10 (mitigation and monitoring) of 20/01110/MJR shall be partially discharged and shall be undertaken in accordance with the updated document “CEMP version 4 (dated 7/07/22).

1. BACKGROUND INFORMATION

- 1.1 This application is reported to Planning Committee following receipt of a valid on-line petition of 50 signatures, which requests that the application is considered by the planning committee “to enable a thorough, transparent, public examination of the document and decision-making; for the views of the communities to be heard and enable any concerns to be addressed”.

2. DESCRIPTION OF THE SITE AND AREA

- 2.1 The proposed site for the temporary construction access comprises some 0.8 hectares of land within the curtilage of the existing Whitchurch Hospital (identified in blue on the aerial photo at Figure 1 below). The land comprising the application area is previously developed land, with some 0.5 hectares comprising the existing main vehicular and pedestrian access to the site.



Figure 1-Site location. MIM site in red, the TCAR area in blue

Figure 1: Aerial view of site

- 2.2 The temporary construction road would provide access to the land to the north-west which has outline planning permission for a Cancer Centre (see planning history).
- 2.3 The Whitchurch Hospital land is Grade II listed on the Register of Landscapes Parks and Gardens of Special Historic Interest in Wales. The closest Grade II Listed Building is the Whitchurch Hospital Chapel immediately adjacent to the route, and the main Whitchurch Hospital buildings are located approximately 170m from the site's south-east boundary.
- 2.4 Along the adopted highway along Pendwyallt/ Park Road are a number residential properties that front onto the roads that will be used by the proposed construction traffic. However, this submission is concentrated upon access through the adjoining Grade II listed Whitchurch hospital site and grade II listed historic park and garden.

3. DESCRIPTION OF PROPOSED DEVELOPMENT

- 3.1 Technical approval is sought from the Local Planning Authority (LPA) for the partial discharge of conditions 8 (Construction and Environmental Management Plan (CEMP) and 10 (mitigation and monitoring of listed buildings) of planning permission reference 20/01110/MJR.
- 3.2 Planning permission ref. 20/01110/MJR approved 'Temporary construction access route for the construction of the approved Velindre Cancer Centre, for a period of no more than 48 months following the completion of the related

highway improvement works, or until 30/11/24, whichever is first'. (This Temporary Construction Access Route is known as TCAR2).

3.3 The conditions in question read as follows:

Condition 8 Construction Environmental Management Plan (CEMP):

8. No part of the development hereby permitted shall be commenced until a scheme of construction management plan has been submitted to and approved in writing by the Local Planning Authority, to include as required, but not limited to, details of site hoardings, site access and wheel washing facilities, site compounds, drainage details to ensure that there is no contamination of the SSSI, site manager's contact details and procedure for notifying the residents of the Hollybush Estate, Coryton Primary School Ty Coryton House and City Hospice, in advance of each element of work. Construction of the development shall be managed strictly in accordance with the scheme so approved.

Reason: In the interests of highway safety and public amenity, in accordance with Policies T5, T6 and EN13 of the adopted Cardiff Local Development Plan (2006-2026).

Condition 10 (mitigation and monitoring of listed buildings):

10. No Development shall be undertaken until details of the proposed mitigation and monitoring of the Listed Chapel have been submitted to and approved in writing with the Local Planning Authority. The submitted details and monitoring shall accord but not limited to the Motts Heritage Statement dated August 2020 and 347168-MML-028-XXTCN-LTA-2000-001 Revision A- Potential Vibration Impact Strategy and any barriers shall be designed to ensure that they are not fixed to the chapel and can be removed once this permission has expired. The approved details and methodology shall be implemented on site before the implementation of this permission.

Reason: To ensure that the Listed Chapel is protected during construction activity in accordance with Policies KP5 and KP17 of the Adopted Cardiff Local Development Plan (2006-2026)."

Note: The above-referenced documents can be viewed on the [online register](#) at: -

- [Heritage Statement](#)
- [Vibration Impact Strategy](#)

3.4 During the course of the application the CEMP report has been amended (Version 4) to respond to comments raised by technical consultees, including;

- Title page image changed to avoid confusion with main project
- Amendments to Section 2.5.2 in line with CEMP
- Amendments to section 3.3.1 Traffic Management
- Amendments to section 4.1.7 Fencing

- Amendments to Appendix 6.1 - Package 2 access removed for clarity
- Appendix 6.2 Proposed Phasing Plan added

3.5 This CEMP has also given consideration for the potential of the temporary construction access route (TCAR1) to be used simultaneously with this temporary construction access route (TCAR 2).

3.6 The CEMP confirms that various technical advisors will be on site at the appropriate time e.g. Ecologist and arboriculturist (paragraphs 2.4.2 & 2.5.1).

4. **PLANNING HISTORY**

4.1 Within the last 5 years, the site has the following relevant planning history:

[17/01735/MJR](#): Proposed Velindre Cancer Centre including specialist cancer treatment centre, centre for learning, research and development, primary means of access (from Coryton Interchange), emergency access (via Hollybush estate), temporary construction accesses, parking, energy centre, landscape works, pedestrian paths, and Maggie's Centre. Granted 27/03/2018.

[20/00357/MJR](#): Variation of condition 1 of planning permission 16/02351/mnr (retention of existing car park for a temporary period expiring on 31st December 2019) substituting 31st December 2024 for 31st December 2019 – undetermined;

[20/01110/MJR](#): Temporary construction access route for the construction of the approved Velindre cancer centre, for a period of no more than 48 months following the completion of the related highway improvement works, or until 30/11/24, whichever is first- Granted 2/02/2021;

[20/01481/MJR](#): Partial discharge of condition 16 (green infrastructure management strategy) of 17/01735/MJR Granted 16/12/20;

[20/01515/MJR](#): Partial discharge of conditions 17 (construction environment management plan), discharge of conditions 10 (highway and pedestrian works details), 13 (bridge finishes), and 14 (soil resource survey (access and enabling works)) of 17/01735/MJR – Granted 16/12/20;

[20/02632/MJR](#): Variation of part c of condition 1 to extend the time limit for the submission of reserved matters by 18 months to 27/09/22 and variation of part d of condition 1 to be: the development hereby permitted shall be begun before the expiration of 5 years from the date of this permission – previously approved under 17/01735/MJR granted 27/01/2021;

[21/02620/MJR](#): Variation to the design of the northern access bridge –

previously approved under 17/01735/MJR- approved

[21/01954/MJR](#) Partial discharge of Condition 17 (CEMP) of 17/01735/MJR – partial discharged

5. **POLICY FRAMEWORK**

National Policy

- 5.1 The **Well-being of Future Generations (Wales) Act 2015** (WFG) imposes a duty on public bodies to carry out 'sustainable development' in accordance with the 'sustainable development principle'.
- 5.2 'Sustainable development' means the process of improving the economic, social, environmental and cultural well-being of Wales by taking action, in accordance with the sustainable development principle, aimed at achieving the well-being goals.
- 5.3 'Sustainable development principle' means that Local Authorities must act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.
- 5.4 Well-being goals identified in the Act are:
- A Prosperous Wales
 - A Resilient Wales
 - A Healthier Wales
 - A More Equal Wales
 - A Wales of Cohesive Communities
 - A Wales of Vibrant Culture and thriving Welsh Language
 - A Globally Responsible Wales
- 5.5 The **Environment (Wales) Act 2016** has been designed to complement the WFG Act. It imposes a duty to require all public authorities, when carrying out their functions in Wales, to seek to "maintain and enhance biodiversity" where it is within the proper exercise of their functions. In doing so, public authorities must also seek to "promote the resilience of ecosystems".

National Planning Policy

- 5.6 [Planning Policy Wales](#) (Edition 11) was revised and restructured in February 2021 to coincide with the publication of, and take into account the policies, themes and approaches set out in, [Future Wales – the National Plan 2040](#) (see below) and to deliver the vision for Wales that is set out therein.
- 5.7 The primary objective of PPW is to ensure that the planning system contributes towards the delivery of sustainable development and improves the social, economic, environmental and cultural well-being of Wales, as required by the Planning (Wales) Act 2015 and the Well-being of Future Generations (Wales) Act 2015.

- 5.8 PPW11 takes the seven *Well-being Goals* and the five *Ways of Working* as overarching themes and embodies a placemaking approach throughout, with the aim of delivering *Active and Social Places*, *Productive and Enterprising Places* and *Distinctive and Natural Places*. It also identifies the planning system as one of the main tools to create sustainable places, and that placemaking principles are a tool to achieving this through both plan making and the decision-making process.

Technical Advice Notes

- 5.9 PPW is supported by a series of more detailed [Technical Advice Notes](#) (TANs), of which the following are of relevance: -
- TAN 5: Nature Conservation and Planning (2009);
Noting also the Chief Planning Officer letter dated 23/10/19: securing bio-diversity enhancement;
 - TAN 10: Tree Preservation Orders (1997)
 - TAN 11: Noise (1997)
 - TAN 15: Development and Flood Risk (2004)
 - TAN 16: Sport, Recreation and Open Space (2009)
 - TAN 18: Transport (March 2007)
 - TAN 21: Waste (February 2017)
 - TAN 23: Economic development (2014)
 - TAN 24: The Historic Environment (May 2017)
- 5.10 On 16th July 2020 the Welsh Government published [Building Better Places: The Planning System Delivering Resilient and Brighter Futures](#) which provides planning policy guidance for local planning authorities and the development industry on priorities for the planning system to deliver post Covid-19. The guidance is to be read in conjunction with PPW, which contains the principles and policies needed for Wales to recover from Covid-19 in a positive manner, putting placemaking at the heart of future development.
- 5.11 It also emphasises that development management decisions should focus on creating healthy, thriving active places with a focus on a positive, sustainable future for our communities. The planning system has an important role in supporting healthier lifestyles and reducing inequalities. This includes both direct and indirect opportunities such as the allocation of land for health facilities, ensuring good design and barrier free development, jobs and skills, improving air quality, soundscapes and protecting and improving access to recreation and natural green spaces. These can provide both physical and mental health benefits, improve well-being and help to reduce inequality.

The Development Plan

- 5.12 Section 38 (6) of the Planning and Compulsory Purchase Act 2004, requires that, if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.

- 5.13 [Future Wales – the National Plan 2040](#) now forms part of the Development Plan for all parts of Wales, comprising a strategy for addressing key national priorities through the planning system, including sustaining and developing a vibrant economy, achieving decarbonisation and climate-resilience, developing strong ecosystems and improving the health and well-being of our communities. All Development Management decisions, strategic and local development plans, planning appeals and all other work directed by the development plan need to accord with Future Wales.
- 5.14 The Local Development Plan is the [Cardiff Local Development Plan 2006-2026](#) which was adopted in January 2016, and within which the following policies are of relevance:

KEY POLICIES

- KP5 Good Quality and Sustainable Design
- KP6 New Infrastructure
- KP8 Sustainable Transportation
- KP15 Climate Change
- KP16 Green Infrastructure
- KP17 Built Heritage
- KP 18 Natural Resources

DETAILED POLICIES

Environment

- EN6 Ecological Networks and Features of Importance for Biodiversity
- EN7 Priority Habitats and Species
- EN8 Trees, Woodlands and Hedgerows
- EN9 Conservation of the Historic Environment
- EN10 Water Sensitive Design
- EN11 Protection of Water Resources
- EN13 Air, Noise, Light Pollution and Land Contamination
- EN14 Flood Risk

Transport

- T1 Walking and Cycling
- T5 Managing Transport Impacts
- T6 Impact on Transport Networks and Services

Community

- C3 Community Safety/Creating Safe Environments
- C4 Protection of Open Space
- C5 Provision for Open space, outdoor recreation, Children's play and sport

- C6 Health

Waste

- W2 Provision for Waste Management Facilities in Development

Supplementary Planning Guidance:

5.15 The following [Supplementary Planning Guidance](#) (SPG) is of relevance to this application: -

- Archaeology and Archaeology Sensitive Areas (July 2018)
- Green Infrastructure (including Technical Guidance Notes relating to: Ecology and Biodiversity; Trees and Development; Public Rights of Way and Development; River Corridors; Protection and Provision of Open Space in New Developments; Soils and Development) (November 2017)
- Managing Transportation Impacts (Incorporating Parking Standards) (July 2018)
- Planning for Health and Wellbeing (November 2017)
- Waste Collection & Storage Facilities (October 2016).

6. **INTERNAL CONSULTEE RESPONSES**

6.1 The **Operational Manager (Traffic and Transportation)** recommends that conditions 8 (construction environment management plan) can be partially discharged.

6.2 **Public Rights of Way (PROW):** No objections but state that temporary closure orders will be required to shut the public rights of way. These are subject to separate regulations.

6.3 **Heritage Team:** recommends that condition 10 can be partially discharged

6.4 **Shared Regulatory Services (Noise):** Note the proposed CEMP and raise no objection to the partial discharge of condition 8 as the proposed construction hours of operation are in line with the Control of Pollution Control Act 1974

6.5 **Drainage.** The proposed route is the subject of a SAB process and is ongoing, therefore, any surface water considerations can be considered through the SAB process.

7. **EXTERNAL CONSULTEE RESPONSES**

7.1 None

8. REPRESENTATIONS

- 7.1 The application is a subsequent application under the EIA Regulations, which requires the application to be publicised by site and press notice in addition to neighbour letters. 2 letters of representation have been received which object to this application. These objections are summarised below:
- The multiple and complex planning applications relating to the proposal make it difficult for parties to monitor, understand and object effectively;
 - The planning system unfairly benefits the developer and is aided by greedy, feckless politicians and a planning department who have no regard for the environment, flooding risk and future generations.
 - Interesting that the proposal states no works to be undertaken during the nesting season, which has already happened;
 - The whole development will have a detrimental effect upon the environment;
 - The planning process is just a tick box exercise that fails to listen to the legitimate concerns of residents;
- 7.2 As noted above, an on-line petition of 50 signatures has also been received, which states that they are of the view that the application will have a major effect on the immediate and wider community.

8 ANALYSIS

- 8.1 Members' attention is drawn to the fact that this application is submitted to discharge technical matters associated with the approved planning permission.
- 8.2 A number of matters have been raised by objectors and those matters that are material to the consideration of the discharge of this condition have been considered in the assessment below. It is not, however, an opportunity to consider the merits of the planning permission or to question matters the Planning Committee has already agreed, such as the use of Whitchurch Hospital for construction access or the number of vehicles that can use this route.

Condition 8 (CEMP)

- 8.3 The submitted CEMP has given consideration to both temporary construction accesses being used simultaneously, and has considered key sensitive receptors, such as the local schools and the city hospice.
- 8.4 To ensure that these, along with others, are not unduly affected the CEMP has considered the following:
- Hours of Working (para 4.1.1)

- Mon to Fri 08:00am to 18.00pm (May be extended in summer upon agreement with client)
- Sat 08:00am to 13.00pm
- No working on Sundays and bank holidays
- The Working hours are to be adhered to and the site will be locked out of working hours.

Nb: These hours accord with the Control of Pollution Act 1974.

- Air Quality (including dust) and Noise

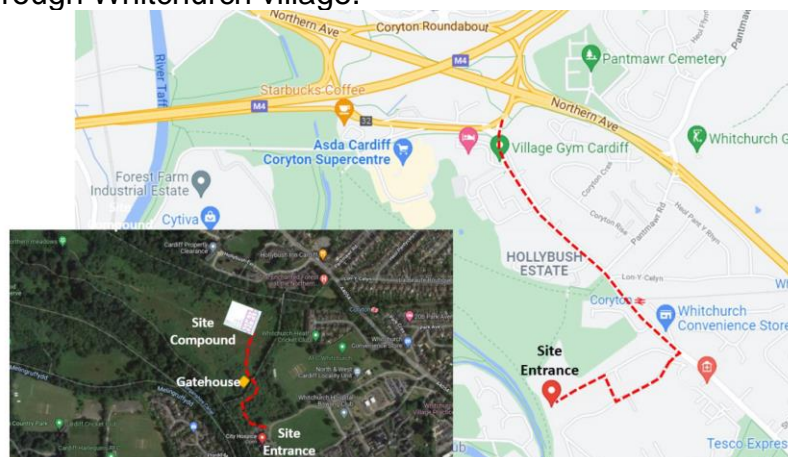
- The CEMP has considered how dust mitigation can be incorporated through such matters as:
 - no burning of materials on site ;
 - Sheeting of lorries.
 - Employing equipment to dampen down haul road
 - Use of equipment with local exhaust ventilation;
 - Stockpiles will be sealed and dampened down during dry periods

While objectors believe these measures, based on their experience of Walters current activities on site, will not be incorporated on site, it is emphasised that these matters are the subject of this CEMP and Control of Pollution Act 1974, and the applicant will need to adhere to these measures to ensure that dust does not cause harm to amenity.

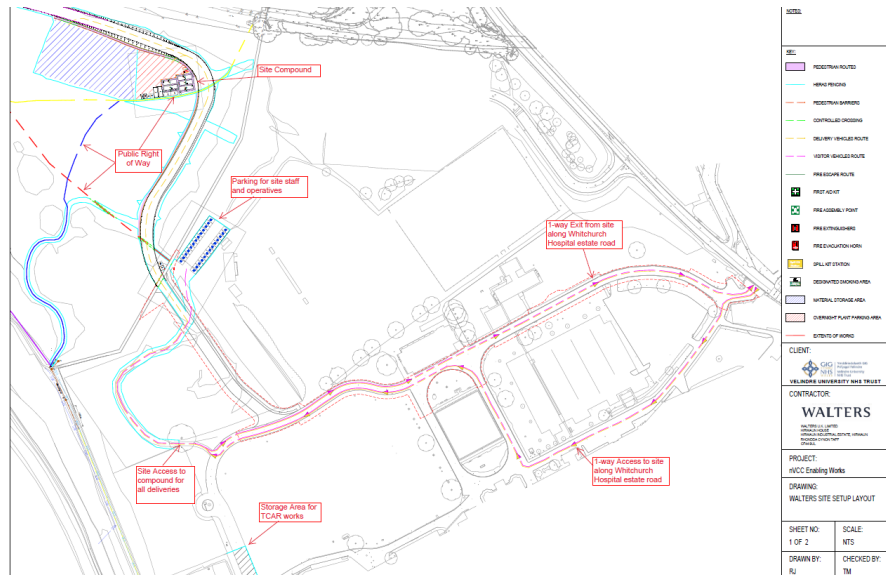
- Shared regulatory services raise no objection to the submitted details in partial discharge of this condition

- Traffic / Highway Safety

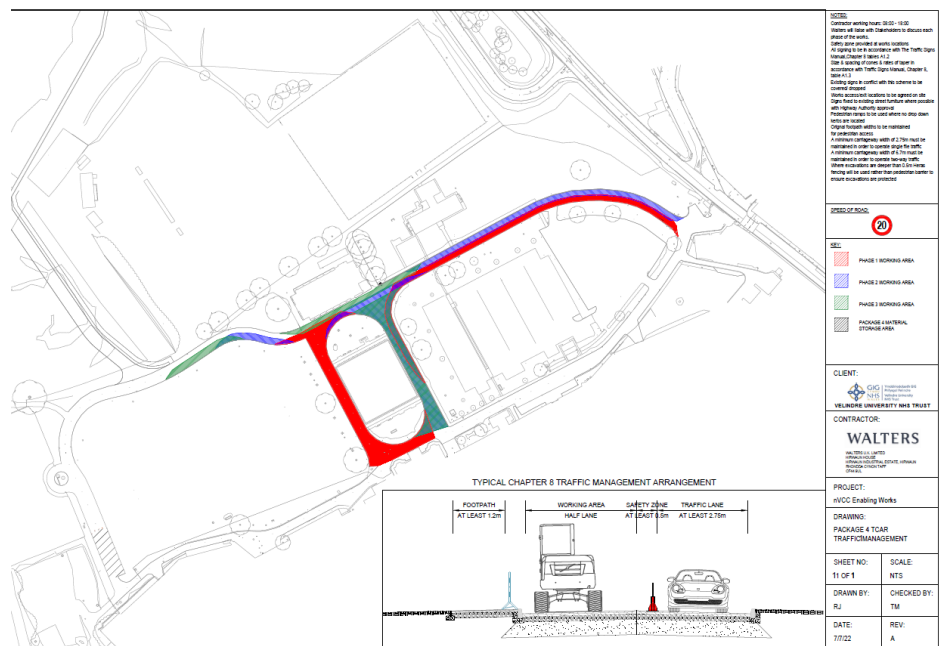
- As stated above the CEMP has considered that both construction access points will be used within the Whitchurch hospital site and both will have the same constraints imposed i.e. no access through Whitchurch village.



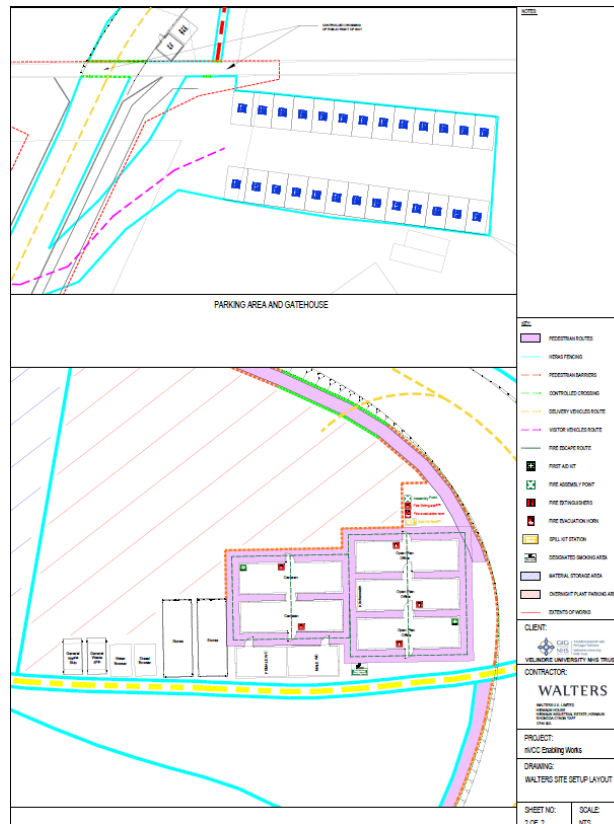
- The internal layout within the Whitchurch hospital estate will also incorporate a one way system which will ensure an orderly route that will allow 'stacking' within the hospital site rather than on the adopted highway (see appendix 6.1 below). It is important to note that the maximum throughput will not exceed 100 HGV a day (200 movements).



- Committee will note that TCAR 1 is also annotated on this plan (in sky blue) which shows that both routes can be operated at the same time.
- In addition to the one way system the CEMP also demonstrated separation between traffic and an internal speed limit of 20mph (32kph), lower to 10 mph around the chapel.



- Proposed parking will be within the Whitchurch hospital site and the compound within the former tennis court and within the construction site located on the northern meadows.



- Whilst concern has been raised by objectors that the proposed parking is not sufficient and will lead to spill over into the adjoining residential streets, the Council’s Highways Officer is satisfied that the submission ensures that the public highway network is not unduly affected by this proposal.
- Deliveries will be along the agreed route and all deliveries shall be notified to call prior to attending site so that the site management can prepare for the delivery on site and guide the delivery to the drop off point. To confirm no deliveries will be undertaken during the school hours previously agreed in the overall masterplan CEMP.
- Rights of Way
 - There is currently a legal order that allows Velindre to close the railway cutting and an appropriate diversion has been agreed with the PROW team and highways.
- A Communication Strategy will also provide advance notices of activity and a compliance process.

- *Site hoardings* – (para. 4.1.7) Temporary protective fencing (Heras) will be erected to delineate the working areas, site boundaries, and protect sensitive features from disturbance, including tree protection. Fencing will be anti-climb, double clipped and supported by feet for the main site perimeters or barriers for short term works within the highway or footways. Construction Site Warning signage will also be erected on the perimeter security fencing.
- *site access* - (para 4.1.8) All construction traffic will be made aware of which local routes are acceptable for journeys to the site. Maps will be provided to drivers to ensure vehicles do not stray from designated routes and that vehicles are routed via main roads and not via indirect routes through other residential and other sensitive areas
- *Wheel washing facilities* (para. 4.1.3) – Confirms wheel washing facilities will be located at site entrance/exits. The banksman will inspect the wheels of all vehicles existing the site and where required wash the wheels with a jetwash to prevent any dirt from being carried on to the Whitchurch grounds.
- *site compounds* - The current compound is located on the former tennis courts within the whitchurch hospital site. Paragraph 4.15 confirms that the compound and staff welfare facility will relocate to the field site. The staff welfare building will be a demountable structure and given its temporary nature sewerage effluent from the site office and welfare will be removed from the site using a vacuum tanker. Entry into the main site compound will be controlled by a gateman during the daytime and security guards out of working hours
- *Drainage details (to ensure that there is no contamination of the SSSI)* – para . 4.2.1 states:

There is a Site of Special Scientific Interest SSSI namely Long Wood Nature Reserve which is positioned approx. 40m west of the site. The general site activities are separated from the SSSI by approx. 40m of grassland and dense vegetation. Since the works are a significant distance from the SSSI, and no works that will enter the groundwater table are envisaged, no further control measures are required to protect the SSSI from the works. The TCAR works are mainly alterations to the existing highway and the introduction of new footpaths. Any surface water from the footpath excavation will drain naturally to the adjacent grass vegetation without causing run-off. Silt fencing will be installed as and when required to manage any potential surface water run-off.

... the site is also subject to an European protected species licence that is issued by Natural Resources Wales that requires on going site supervision. It is understood this CEMP is in accordance with those provision. .. the CEMP states that along with an ecological clerk of works will be supported by ecologist and arboriculturist at appropriate stages e.g setting out fencing & removing vegetation,

- *Procedure for notifying the residents of the Hollybush Estate, Coryton Primary School Ty Coryton House and City Hospice, in advance of each element of work.*

Paragraph 3.3.1 of the CEMP states that for the TCAR works within the Whitchurch Hospital, the key stakeholders shall be City Hospice, Whitchurch Hospital, the Whitchurch Sports Clubs within the site (including the Rugby, cricket, Football and Hockey clubs), the district nurse offices, the Covid testing centre and any other businesses within the grounds.

Contact details shall be given to all the key stakeholders for the Walters Management on site including an out of hours contact.

In addition, paragraph 4.1.4 of the CEMP states:

“All communications shall be liaised with the nVCC communications team which have established communication lines for the construction activities to date. Communications will be distributed electronically to all local councillors to distribute and communicate with their constituents. Local stakeholders shall also receive electronic communications and invited to monthly meetings where required to review proposed works and evaluate current measures.

The key stakeholders namely Hollybush Estate, Coryton Primary School, Ty Coryton House and the City Hospice shall be notified in advance of new elements of works and changes to traffic management. These shall be distributed through newsletters and electronic communications through nVCC and the local councillors. As the works proceed into differing work areas, other stakeholders shall be contacted and added to the keys stakeholder list as required.

A newsletter shall also be distributed prior to key activities to forewarn of any changes to the traffic or pedestrian routes and to provide updates on the progress. The Velindre email address [can be used] residents [to] email any observations and complaints.

- 8.5 As identified earlier, this application seeks technical approval of a condition requiring approval of a Construction Environmental Management Plan. The condition was imposed in the interests of highway safety and public amenity.
- 8.6 A major new development will always have impacts and cause disruption, with the purpose of a CEMP being to manage such construction impacts to ensure that these impacts are minimised as much as possible. In this context, the CEMP has been revised throughout the course of this application to address identified issues, with the final version of the CEMP having been reviewed by all technical consultees (notably highways and Shared Regulatory Services) who have considered the impact upon residential amenity and highway safety and raise no objections to the discharge of the condition. Accordingly, the

submitted details are considered acceptable in principle and sufficient to be approved under condition 8 (which will be partially discharged given the need to comply with the approved details).

Condition 10 (mitigation and monitoring)

- 8.7 Condition 10 seeks to ensure that the Listed Whitchurch Chapel is protected during construction activity, and in this respect a document entitled ‘Whitchurch Chapel Protection Measures’ (WSP) has been submitted for approval.
- 8.8 The submission recognises that the chapel is already in a poor state of repair and the roof is partially missing. The report assesses that the key risk to the building would be HGV traffic passing in close proximity and proposes key stages of monitoring and mitigation. These are summarised below:

Pre-Commencement

- A pre-commencement condition survey shall be undertaken by a chartered surveyor to review the Chapel and provide a structural condition report.
- Protection measures shall be installed to prevent damage from passing traffic utilising a combination of concrete barriers and scaffold to support heras fencing.
- A vibration monitor shall be installed to the external wall of the chapel to monitor and record the vibration levels.
- A 10mph limit shall be set adjacent to the chapel and if required the existing surfacing repaired to minimise potential vibration from passing traffic

During the Project

- Monthly condition surveys shall be undertaken to continually monitor the condition of the chapel and report of any deterioration
- The protection fencing shall be inspected weekly to ensure it is functional and any noted damage or defects on the fencing repaired immediately
- The vibration monitor shall remain in place to continually monitor the vibration from both construction activities and passing traffic on the adjacent road. The vibration monitor shall have pre-set threshold levels in line with the previously levels agreed on the master CEMP.

Table 1: Transient vibration guide values for cosmetic damage (Table 1 – BS7385-2)

Line	Type of building	Peak component particle velocity in frequency range of predominant pulse	
		4 Hz to 15 Hz	15 Hz and above
1	Reinforced or framed structures Industrial and heavy commercial buildings	50 mm/s at 4 Hz and above	
2	Unreinforced or light framed structures Residential or light commercial type buildings	15 mm/s at 4 Hz increasing to 20 mms at 15 Hz	20 mm/s at 15 Hz increasing to 50 mm/s at 40 Hz and above

NOTE1 – Values referred to are at the base of the building.

NOTE2 – For line 2, at frequencies below 4 Hz, a maximum displacement of 0.6mm (zero to peak) should not be exceeded.

Source: Table 1 – BS7385-2: 1993

Conclusion

- 8.11 The combination of mitigation works and monitoring identified above has been reviewed by the council's Conservation team, who are satisfied with the submitted details and recommend approval of the details in partial discharge of condition 10.

Other Matters

- 8.12 Having regard to the representations received on the application, the following addresses those matters that have not been considered above: -
- Concern over the actions of Walters UK in the felling of the trees on site is not a material planning consideration in relation to the details in discharge of conditions 8 and 10. Any failure to adhere to the submitted details would leave the applicant liable to the potential of planning enforcement action.
 - Officers acknowledge that the submission is complex in nature due to the complexity of the site and proposal. It is emphasised, however, that these are technical matters reserved for subsequent approval following the grant of planning permission for the development in question. Nevertheless it is noted that the majority of the submission is information that was already approved under reference 20/01110/MJR and has been submitted to demonstrate how this submission accords with the principles approved by the Planning Committee.
 - Concern has been raised that the planning process does not provide meaningful dialogue with the community affected by this proposal and that the LPA are only undertaking consultation as a 'tick box exercise'. The requirements for community engagement are a legal requirement under the EIA regulations and there is a legal duty to consider representations made. This report is considered to represent the concerns raised and provides an assessment to allow the committee to make an informed planning judgement based upon the matter for consideration.
 - As discussed above and reiterated here, this application does not allow the reopening of the principles set by the planning permission or the overarching CEMP discharge approved by the committee in 2020.
 - The discharge of this condition accords with the principles set under planning permission 20/01110/MJR which was the subject of the EIA regulations and as such the environmental impact has been considered and the submitted Environmental Statement remains fit for purpose. It is also recommended that an ecologist and arboriculturist are on site to supervise the works being undertaken to ensure the environmental considerations are met on site.

9 OTHER MATTERS RELEVANT TO THE CONSIDERATION OF THIS APPLICATION

- 9.1 Crime and Disorder Act 1998. Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 9.2 Equality Act 2010. The Act identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.
- 9.3 Well-Being of Future Generations Act 2016. Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision. It is also noted that section 2(5) of the Planning (Wales) Act 2015 affords protection to decisions taken under Part 3 of the 1990 Act, in that the Well-being of Future Generations (Wales) Act 2015 does not alter whether regard is to be had to any particular consideration under section 70(2) of the 1990 Act or the weight to be given to any consideration to which regard is had under that subsection. This means the provisions of the development plan, so far as material to the application, and any other relevant other material considerations remain the primary considerations when determining planning applications.
- 9.4 Section 6 of Environment (Wales) Act 2016 subsection (1) imposes a duty that a public authority must seek to maintain and enhance biodiversity in the exercise of its functions, and in so doing promote the resilience of ecosystems, so far as is consistent with the proper exercise of those functions. In complying with subsection (1), a public authority must take account of the resilience of ecosystems, in particular the following aspects:
- (a) Diversity between and within ecosystems;
 - (b) The connections between and within ecosystems;
 - (c) The scale of ecosystems;
 - (d) The condition of ecosystems (including their structure and functioning);
 - (e) The adaptability of ecosystems.

It is considered that the LPA has considered its duty under this Act and has met its objectives for the reasons outlined above.

- 9.5 EIA development: The application constitutes a 'subsequent application' for the purposes of Part 3, Regulation 9(1)(a) & (b) of the Town & Country Planning (Environmental Impact Assessment) (Wales) Regulations 2017. The application has been prepared in substantial accordance with the parameter plans, drawing and documents that were approved as part of the planning permission for the new Temporary construction access route (TCAR 2 LPA reference 20/01110/MJR,). This current application, in relation to a condition of that permission, does not give rise to any significant effect on the environment, beyond those which were considered as part of the Environmental Statement, that was approved under the above planning permission. The environmental information already before the local planning authority is considered adequate to assess the significant effects of the development on the environment, and has been taken into consideration as part of this application in accordance with the aforementioned Regulations. It is considered, therefore, that a further addendum to the Environmental Statement is not required to accompany this submission.

10 CONCLUSION

- 10.1 It is recommended that conditions 8 & 10 are partially discharged in the manner outlined above at this time and that given the complexity of the development and of the site, that the phased discharge of this condition at key points within the programme is acceptable and appropriate to control key elements of the project as it progresses. Concerns raised are noted, but are not material to this stage of discharging the condition.
- 10.2 There are no technical objections to the discharging of the conditions and the submission is in line with the plans considered by the committee in its consideration of planning application 20/01110/MJR
- 10.3 For the above reasons, the proposal is considered acceptable and it is recommended that the conditions 8 and 10 can be partially discharged as outlined in recommendation 1 of this report.

11 RECOMMENDATION

- **RECOMMENDATION:** That conditions 8 (Construction Environment Management Plan), and 10 (mitigation and monitoring) of 20/01110/MJR shall be partially discharged and shall be undertaken in accordance with the updated document "CEMP version 4 (dated 7/07/22).
- **INFORMATIVE 1:** The applicant is reminded that during the works an arboriculturist and ecologist are on site before, during and after the whole works and provide a report to the Local Planning Authority to demonstrate compliance with the approved details.

- **INFORMATIVE 2:** To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays.

PETITION

COMMITTEE DATE: 10/8/2022

APPLICATION No. **22/00802/MJR** APPLICATION DATE: 13/04/2022

ED: **WHITCHURCH/TONGWYNLAIS**

APP: TYPE: Discharge of Condition(s)

APPLICANT: Velindre NHS University Trust

LOCATION: LAND TO THE NORTH-WEST OF WHITCHURCH
HOSPITAL PLAYING FIELDS

PROPOSAL: DISCHARGE OF CONDITION 17 (CONSTRUCTION
ENVIRONMENTAL MANAGEMENT PLAN) OF
17/01735/MJR

RECOMMENDATION : That condition 17 (Construction Environment Management Plan) of 17/01735/MJR shall be partially discharged and shall be undertaken in accordance with the updated document "CEMP version 7 (dated 28/06/22) and the email from the agent Mark Farrar dated 13/7/2022.

1. BACKGROUND INFORMATION

- 1.1 This application is reported to Planning Committee following receipt of a valid on-line petition of 267 signatures, which objects to this application on the grounds outlined in the 'representations' section of this report.

2. DESCRIPTION OF THE SITE AND AREA

- 2.1 The site comprises the proposed location for the new Velindre Cancer Centre, granted planning permission on 27th March 2018 under planning permission ref. [17/01735/MJR](#), with the site boundary indicated in red on the site location plan below.

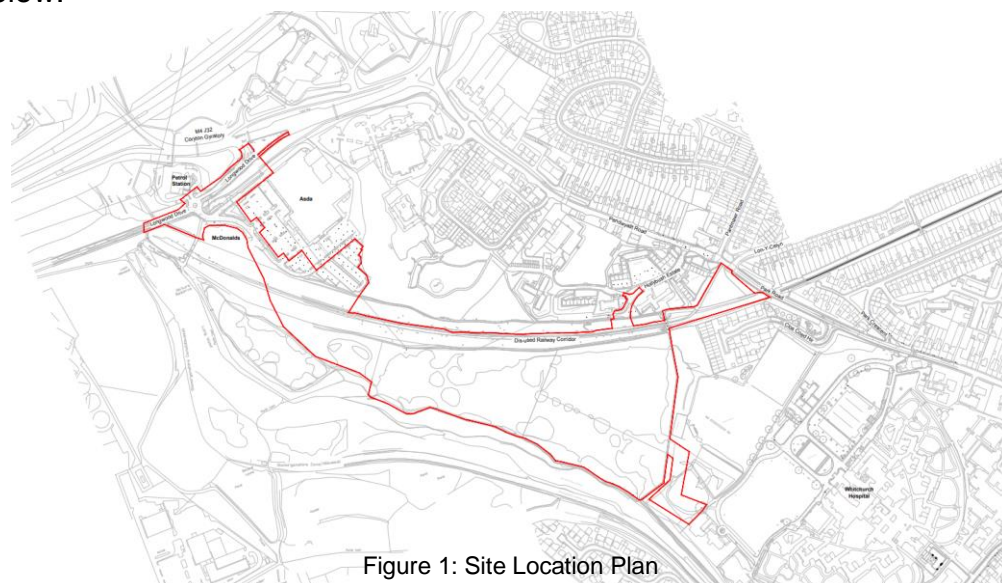


Figure 1: Site Location Plan

- 2.2 The site is 14.5 hectares in area and is undeveloped land that is characterised by rough grassland and scrub, enclosed by dense, broadleaved woodland and shrubs. The boundary of the application site includes the main site for development of the proposed Cancer Centre, and those areas required to facilitate access from the Coryton gyratory and the emergency access route from the Hollybush Estate.
- 2.3 The land is gently undulating former pastoral farmland (the highest point of the main site area is the north-west boundary which ranges between 51m AOD (Above Ordnance Datum) and 57m AOD with the site sloping down to the south-east boundary where the ground level is between 41m AOD and 43m AOD).
- 2.4 The site is subdivided into a network of fields of varying size with some overgrown field hedgerows remaining in private ownership. The site is no longer grazed by horses, but is crossed by informal and formal footpaths. The site has a non-statutory designation as a Site of Importance for Nature Conservation (SINC) for its neutral grassland.
- 2.5 This submission is concentrated upon the railway cutting (which is now a designated public right of way (PROW)) and in particular the locations of bridges and the triangular piece of land know as Lady Cory field (packages 1,3 &4 – see figure 2).

3. DESCRIPTION OF PROPOSED DEVELOPMENT

- 3.1 Technical approval is sought from the Local Planning Authority (LPA) for the partial discharge of condition 17 of planning permission reference 17/01735/MJR.
- 3.2 Planning permission ref. [17/01735/MJR](#) approved the 'Velindre Cancer Centre including specialist cancer treatment centre, centre for learning, research and development, primary means of access (from Coryton Interchange), emergency access (via Hollybush estate), temporary construction accesses, parking, energy centre, landscape works, pedestrian paths, and Maggie's Centre',
- 3.3 Condition 17 Construction Environmental Management Plan (CEMP) reads as follows:

Prior to the commencement of any site clearance, construction works or development (except for demolition), a Construction Environmental and Management Plan (CEMP) for the whole site shall be first submitted to and approved in writing by the Local Planning Authority. The CEMP shall accord with the Landscape Masterplan and mitigation measures set out in the Environmental Statement and its addendum, and in the Environmental Mitigation Plan. The CEMP shall include:

- a. An implementation programme;*
- b. A Construction Traffic Management Plan, to include but not limited, to the management of site access, parking (to be within the main body of the site) and wheel washing facilities;*

- c. *Details of site hoardings (including the erection, maintenance, security and any decorative displays) and means of enclosure to prevent unauthorized access during construction;*
- d. *Details of the storage of plant and materials (including any oils, fuels and chemicals), construction compounds, any temporary facilities for construction staff;*
- e. *Dust Management Plan and measures to control the emission of dust and dirt from construction and minimise sediment loading*
- f. *A Noise Management Plan and measures to control and monitor noise, the details to be submitted shall include the suggested information (including phasing) outlined in Chapter 9: Noise and vibration Environmental Statement dated October 2017;*
- g. *Measures to control cementitious materials;*
- h. *A Site Waste Management Plan for the recycling and/ or disposal of all waste resulting from construction works;*
- i. *A Construction Drainage Scheme indicating how surface water and land drainage run off will be dealt with to prevent contamination, nuisance, subsidence or flooding;*
- j. *a Green Infrastructure Construction Protection Strategy (GICPS) detailing measures for the protection of the ecological (habitats & protected species), arboricultural, landscape, soil, open space and SuDs resource during clearance and construction, including those existing elements proposed for retention and translocation, and those proposed to be created or enhanced as part of the application. The GICPS shall comply with the approved Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan and the approved Soil Resource Survey and Soil Resource Plan for that site/ land and shall include but shall not be limited to:*
 - *an assessment of the impacts*
 - *a plan showing green infrastructure to be lost, retained, enhanced, translocated and newly created and its phasing*
 - *a plan showing protection zones for the ecological (habitats & protected species), arboricultural, landscape, soil, open space and SUDS resource for the construction phase, which shall include but not be limited to a 15m wide buffer zone alongside the Glamorgan Canal / Long Wood SSSI precautionary measures to avoid harm to previously undetected dormice and badgers;*
 - *pre-construction checks Mott MacDonald | new Velindre Cancer Centre Construction Environment Management Plan 347168-MML-028-XX-RPT-CIV-2000-001 | 14 October 2020 2*
 - *details of site clearance and construction methods and measures to be taken to minimize the impact of any works*
 - *phasing / timing of works*
 - *a lighting scheme, including measures to reduce light spillage from*

construction onto key habitats and corridors.

- k. List of on-site contacts and their responsibilities and arrangements for ecological site inductions for contractors working on site; the details so approved and any subsequent amendments as shall be agreed in writing by the Local Planning Authority shall be complied within in full throughout the construction period.*
- l. Details of the remediation and timescale of the triangular piece of land to the east of the Hollybush Estate.*
- m. The details so approved and any subsequent amendments as shall be agreed in writing by the Local Planning Authority shall be complied within in full throughout the construction period*

Reason: To manage the impacts of construction in the interests of highway safety, and protection of the environment and public amenity in accordance with Policy KP16 of the adopted Cardiff Local Development Plan (2006-2026

- 3.4 Members should note that under application ref. [20/01515/MJR](#), Planning Committee has already approved (on 16th December 2020) the partial discharge of condition 17, with such details relating to the site clearance works to enable the construction of the bridges. This approval also notes that:

Condition 17 (CEMP): Is partially discharged and shall be undertaken in accordance with the scope of the works outlined 'enabling works' which are indicated under Figure 1.1: Enabling Works and described under 1.3: Implementation Programme in the Construction Environment Management Plan (CEMP) (prepared by Mott MacDonald dated October 2020 Revision D). The applicant is advised that this condition will be required to be discharged for each phase of development including once a contractor has been appointed to undertake the enabling works.

- 3.5 The submitted details relate to Phase 1, being the construction of the main (Asda) bridge and the use of the Lady Cory Field and TCAR 1 and TCAR 2 (subject of a separate application), with the proposed 'packages' of works (packages 1,3 & 4) identified on figure 2 below.

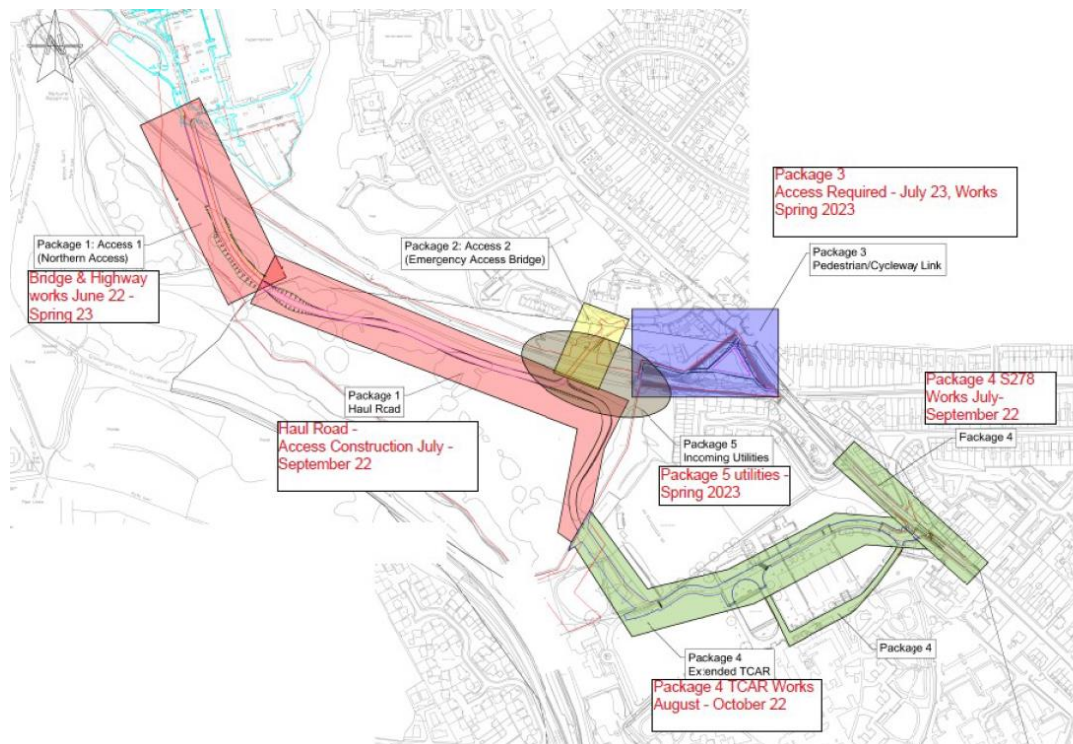


Figure 2: Schedule of Works 'Packages'

- 3.6 Notwithstanding the above (which shows 5 areas of works) given the necessary level of detail required some of those works (package 5) have been removed from consideration of this CEMP and will be submitted at a later date (ahead of such works commencing). It also excludes the 'emergency access bridge' (package 2)
- 3.7 While relating to the whole site, the CEMP is thus limited to enabling the bridge(s) to be built, the use of Lady Cory Field and Temporary construction route 1 (TCAR1) near to the existing city hospice. Committee will also note that consideration has also been given to the possibility of use of TCAR2, which is also reported to Committee concurrently (planning reference 22/00725/MJR). These routes will allow the timing of the main (Asda) bridge to be constructed within the timeframe outlined above
- 3.8 To facilitate these works, construction access will be via Lady Cory field and the railway cutting public right of way (PROW). Both of these routes would be closed to the public for health and safety reasons. The suggested closure period and diversion raise no objections from technical consultee and are therefore acceptable, in planning terms. There is a separate legal process for the closure of these areas that the applicant has undertaken. The railway cutting diversion would, based upon previous diversion, be along the adopted highway that runs along the boundary with Whitchurch Hospital and along the PROW route that runs along the SSSI. However, this is subject to separate legal order and due process.
- 3.9 Members should note that the phasing of development on such a complex site is not unusual, with the critical part of such technical conditions being to ensure that the development as it progresses has appropriate controls in place to ensure no unacceptable impacts arise from construction works. In this respect,

officers and technical consultees are satisfied that the CEMP satisfactorily controls all construction related impacts to the initial phase of development, and that appropriate controls will remain in place through the need for further submissions for later phases of development. This is set out within the introduction of the CEMP as follows:

- This document refers to, supplements and builds upon the previous CEMP documents produced by Mott MacDonald (ref [347168-MML-028-XX-RPT-CIV-2000-01](#)) and WSP (ref ASC CEMP rev D 70066877/GW/ASC CEMP/D).
- This document also references the European Protected Species License (EPSL) for Dormice (ref SO89035/2), the Green Infrastructure Management Strategy (GIMS) (ref [347168-MML-028-XX-RPT-ECO-2000-01](#)) and the GIMS Adherence Statement Rev C (ref [70066877/GW/GIMS AS REV C](#)) as per the previous documents.
- Mott MacDonald Limited was commissioned to address the production of an Initial Construction Environmental Management Plan (CEMP) for the whole of the project and this was submitted in support of the discharge of Planning Condition 17 (ref 347168-MML-028-XX-RPT-CIV-2000-01).

3.10 During the course of the application the CEMP has been amended (Version 7) to respond to comments raised by technical consultees. In addition, the following clarification was received from the agent in an email dated 13th July 2022): -

- *“That CEMP is partial discharge to allow the building of the bridge(s) and that the proposal doesn’t authorise wider drainage, which will have to have its own CEMP;*

Correct, a future CEMP will be submitted for the reserved matters scheme

- *That no works, including water, will be going through the SSSI;*

No works required within the enabling works will be going through the SSSI. Surface water from the enabling works will not be directed into the SSSI.

- *Can you please provide (direct me within the CEMP) where it states how construction water will be dealt with on site?*

This is specifically covered in sections 8.1 and 8.2, with Appendices 12.2 & 12.4. Sections 4.0 and 7.2 cover other protection measures (materials storage and oil handling).”

3.11 It is also emphasised that, given the complexity of the development, Condition 17 will be required to be re-discharged as the scheme progresses for each phase of development.

4. **PLANNING HISTORY**

4.1 Within the last 5 years, the site has the following relevant planning history:

[17/01735/MJR](#): Proposed Velindre Cancer Centre including specialist cancer treatment centre, centre for learning, research and development, primary means of access (from Coryton Interchange), emergency access (via Hollybush estate), temporary construction accesses, parking, energy centre, landscape works, pedestrian paths, and Maggie's Centre. Granted 27/03/2018.

[20/00357/MJR](#): Variation of condition 1 of planning permission 16/02351/mnr (retention of existing car park for a temporary period expiring on 31st December 2019) substituting 31st December 2024 for 31st December 2019 – undetermined;

[20/01110/MJR](#): Temporary construction access route for the construction of the approved Velindre cancer centre, for a period of no more than 48 months following the completion of the related highway improvement works, or until 30/11/24, whichever is first - Granted 2/02/2021;

[20/01481/MJR](#): Partial discharge of condition 16 (green infrastructure management strategy) of 17/01735/MJR Granted 16/12/20;

[20/01515/MJR](#): Partial discharge of conditions 17 (construction environment management plan), discharge of conditions 10 (highway and pedestrian works details), 13 (bridge finishes), and 14 (soil resource survey (access and enabling works)) of 17/01735/MJR – Granted 16/12/20;

[20/02632/MJR](#): Variation of part c of condition 1 to extend the time limit for the submission of reserved matters by 18 months to 27/09/22 and variation of part d of condition 1 to be: the development hereby permitted shall be begun before the expiration of 5 years from the date of this permission - previously approved under 17/01735/MJR granted 27/01/2021;

[21/02620/MJR](#): variation to the design of the northern access bridge - previously approved under 17/01735/MJR- approved

[21/01954/MJR](#)- Partial discharge of Condition 17 (CEMP) of 17/01735/MJR – partial discharged

5. **POLICY FRAMEWORK**

National Policy

5.1 The **Well-being of Future Generations (Wales) Act 2015** (WFG) imposes a duty on public bodies to carry out 'sustainable development' in accordance with

the 'sustainable development principle'.

- 5.2 'Sustainable development' means the process of improving the economic, social, environmental and cultural well-being of Wales by taking action, in accordance with the sustainable development principle, aimed at achieving the well-being goals.
- 5.3 'Sustainable development principle' means that Local Authorities must act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.
- 5.4 Well-being goals identified in the Act are:
- A Prosperous Wales
 - A Resilient Wales
 - A Healthier Wales
 - A More Equal Wales
 - A Wales of Cohesive Communities
 - A Wales of Vibrant Culture and thriving Welsh Language
 - A Globally Responsible Wales
- 5.5 The **Environment (Wales) Act 2016** has been designed to complement the WFG Act. It imposes a duty to require all public authorities, when carrying out their functions in Wales, to seek to "maintain and enhance biodiversity" where it is within the proper exercise of their functions. In doing so, public authorities must also seek to "promote the resilience of ecosystems".

National Planning Policy

- 5.6 [Planning Policy Wales](#) (Edition 11) was revised and restructured in February 2021 to coincide with the publication of, and take into account the policies, themes and approaches set out in, [Future Wales - the National Plan 2040](#) (see below) and to deliver the vision for Wales that is set out therein.
- 5.7 The primary objective of PPW is to ensure that the planning system contributes towards the delivery of sustainable development and improves the social, economic, environmental and cultural well-being of Wales, as required by the Planning (Wales) Act 2015 and the Well-being of Future Generations (Wales) Act 2015.
- 5.8 PPW11 takes the seven *Well-being Goals* and the five *Ways of Working* as overarching themes and embodies a placemaking approach throughout, with the aim of delivering *Active and Social Places*, *Productive and Enterprising Places* and *Distinctive and Natural Places*. It also identifies the planning system as one of the main tools to create sustainable places, and that placemaking principles are a tool to achieving this through both plan making and the decision-making process.

Technical Advice Notes

- 5.9 PPW is supported by a series of more detailed [Technical Advice Notes](#) (TANs), of which the following are of relevance: -
- TAN 5: Nature Conservation and Planning (2009);
Noting also the Chief Planning Officer letter dated 23/10/19: securing bio-diversity enhancement;
 - TAN 10: Tree Preservation Orders (1997)
 - TAN 11: Noise (1997)
 - TAN 15: Development and Flood Risk (2004)
 - TAN 16: Sport, Recreation and Open Space (2009)
 - TAN 18: Transport (March 2007)
 - TAN 21: Waste (February 2017)
 - TAN 23: Economic development (2014)
 - TAN 24: The Historic Environment (May 2017)
- 5.10 On 16th July 2020 the Welsh Government published [Building Better Places: The Planning System Delivering Resilient and Brighter Futures](#) which provides planning policy guidance for local planning authorities and the development industry on priorities for the planning system to deliver post Covid-19. The guidance is to be read in conjunction with PPW, which contains the principles and policies needed for Wales to recover from Covid-19 in a positive manner, putting placemaking at the heart of future development.
- 5.11 It also emphasises that development management decisions should focus on creating healthy, thriving active places with a focus on a positive, sustainable future for our communities. The planning system has an important role in supporting healthier lifestyles and reducing inequalities. This includes both direct and indirect opportunities such as the allocation of land for health facilities, ensuring good design and barrier free development, jobs and skills, improving air quality, soundscapes and protecting and improving access to recreation and natural green spaces. These can provide both physical and mental health benefits, improve well-being and help to reduce inequality.

The Development Plan

- 5.12 Section 38 (6) of the Planning and Compulsory Purchase Act 2004, requires that, if regard is to be had to the development plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise.
- 5.13 [Future Wales - the National Plan 2040](#) now forms part of the Development Plan for all parts of Wales, comprising a strategy for addressing key national priorities through the planning system, including sustaining and developing a vibrant economy, achieving decarbonisation and climate-resilience, developing strong ecosystems and improving the health and well-being of our communities. All Development Management decisions, strategic and local development plans, planning appeals and all other work directed by the development plan need to accord with Future Wales.

5.14 The Local Development Plan is the [Cardiff Local Development Plan 2006-2026](#) which was adopted in January 2016, and within which the following policies are of relevance:

KEY POLICIES

- KP5 Good Quality and Sustainable Design
- KP6 New Infrastructure
- KP8 Sustainable Transportation
- KP15 Climate Change
- KP16 Green Infrastructure
- KP17 Built Heritage
- KP 18 Natural Resources

DETAILED POLICIES

Environment

- EN6 Ecological Networks and Features of Importance for Biodiversity
- EN7 Priority Habitats and Species
- EN8 Trees, Woodlands and Hedgerows
- EN9 Conservation of the Historic Environment
- EN10 Water Sensitive Design
- EN11 Protection of Water Resources
- EN13 Air, Noise, Light Pollution and Land Contamination
- EN14 Flood Risk

Transport

- T1 Walking and Cycling
- T5 Managing Transport Impacts
- T6 Impact on Transport Networks and Services

Community

- C3 Community Safety/Creating Safe Environments
- C4 Protection of Open Space
- C5 Provision for Open space, outdoor recreation, Children's play and sport
- C6 Health

Waste

- W2 Provision for Waste Management Facilities in Development

Supplementary Planning Guidance:

5.15 The following [Supplementary Planning Guidance](#) (SPG) is of relevance to this application: -

- Archaeology and Archaeology Sensitive Areas (July 2018)

- Green Infrastructure (including Technical Guidance Notes relating to: Ecology and Biodiversity; Trees and Development; Public Rights of Way and Development; River Corridors; Protection and Provision of Open Space in New Developments; Soils and Development) (November 2017)
- Managing Transportation Impacts (Incorporating Parking Standards) (July 2018)
- Planning for Health and Wellbeing (November 2017)
- Waste Collection & Storage Facilities (October 2016).

6. INTERNAL CONSULTEE RESPONSES

6.1 The **Operational Manager (Traffic and Transportation)** recommends that condition 17 (construction environment management plan) can be partially discharged.

6.2 **Public Rights of Way (PROW):** No objections but state that temporary closure orders will be required to shut the public rights of way. These are subject to separate regulations

6.3 The **Strategic Planning Trees and Landscaping Officer** states:

This updated CEMP discharge of condition seeks to allow the building of the bridge(s) in line with the principles set under planning application 17/01735/MJR. The proposal accords with the tree loss approved through planning application reference 17/01735/MJR and this CEMP accords with the general principles agreed by committee under reference 20/01515/MJR for the site wide CEMP. On this basis and subject to receiving arboricultural reports from the designated arboriculturist I raise no objections

6.4 **Shared Regulatory Services (Noise):** note the proposed CEMP and raise no objection to the partial discharge of condition 17. It is also noted that there is the potential for construction activity outside the agreed hours of operation which will be subject to a S61 application and may have additional restrictions beyond planning controls.

7. EXTERNAL CONSULTEE RESPONSES

7.1 **Natural Resources Wales:** No objection to partial discharge of the condition 17 subject to the updated CEMP and the email from the agent dated 13/7/22.

7.2 **Dŵr Cymru Welsh Water:** No objection to condition 17 (Construction Environment Management Plan) being partially discharged.

8. REPRESENTATIONS

8.1 The application is a subsequent application under the EIA regulations, which requires the application to be publicised by site and press notice in addition to neighbour letters. 83 letters of representation have been received of which 52 object to this application. These objections are summarised below:

1. The CEMP does not cover the whole site, as required by the condition;
2. The CEMP is confusing as it relates to previous documents and additional information. This approach increases the risk of environmental breaches and poor management;
3. Concerning the lack of details into the construction of the Hollybush bridge. It is understood this is not going ahead. No works should be undertaken until this is clarified;
4. The CEMP proposes widening works through the use of a S171 agreement with the council, this is not the correct procedure and that a S278 is required along with a proper planning application. The use of Lady Cory Field is dangerous and the use of 'stop' 'go' signs is totally unacceptable as it will cause great danger to the public and should be rejected;
5. Concern over the lack of protection to the existing DCWW surface water drainage. I wish the committee to note no protection was in place during their last 3 visits;
6. Walters UK use throw away remark such "some further clearance will be required for the access for the bridge" the CEMP even suggest kill animals that get in their way.
7. The use of traffic marshal to manage the meeting of pedestrians and construction traffic where it meets the adopted highway/ PROW. This is dangerous and needs to be rejected;
8. The proposal refers to night time working, this should be rejected as the community have already suffered enough;
9. The construction access is closer to the City Hospice than approved;
10. The 'compound' already exists and from discussion with Walters will need to be bigger than shown;
11. A number of dates within the report are wrong and to be updated
12. Most of the works this CEMP seeks to cover have already taken place on site
13. Given the actions of Walters UK they will not adhere to this CEMP they have broken so many rules already;
14. The hours of operation and access to the Lady Cory field cannot be undertaken during school opening and closing times, this is not clearly stated in the report.
15. Objection to the stripping of the soil from LCF and the installation of an aggregate haul road, this will so damage LCF that it will not be possible to return it to its condition before the construction works. Original communication from TCS was that LCF would be used for 9 months. Condition 17 must set a time limit for the use of LCF as an access road and turning area, and this time limit must be acceptable to the local community.
16. The CEMP does not show the 60/40 split that Velindre promises the development would not exceed;
17. Enforcement of air quality needs to be addressed and what measures will be put in place should air quality limits are exceeded

8.2 An on-line petition of 267 signatures has been submitted and objects to this application on the ground outlined above.

8.3 Whitchurch and Tongwynlais PACT group objects to this application on the following grounds:

- Disagrees with the embargo times for the school and believes should be 8-9-15 & 2.30pm-3.30pm during tree felling vehicles were accessing the site during the above hours;
- Concern that Tongwynlais Village should be added to the list of no go area;
- How will the developer ensure no vehicles are parked on the adjoining roads;
- It is important that the road is kept clean for all users the 'much as possible' is not good enough;
- Has Welsh water agreed to allow discharging into their system
- How can the community be sure there will be no more loss of trees
- The council are requiring the public to inform them if there are breaches of condition but how would the public know?
- Not another email address but responses to complaints is slow, should be days not weeks.
- No extension of construction hours should be allowed as residents need to enjoy the summer months;
- How accurate is the traffic survey
- The proposal does not assess the impact upon the SSSI

8.4 20 letters of support have also been received which in summary state that:

1. They are pleased to see that this much needed hospital is making progress;
2. There is a need for this type of facility for the region;

9. ANALYSIS

9.1 Members' attention is drawn to the fact that this application is submitted to discharge technical matters associated with the approved planning permission.

9.2 A number of matters have been raised by objectors and those matters that are material to the consideration of the discharge of this condition have been considered in the assessment below. It is not, however, an opportunity to consider the merits of the planning permission or to question matters the Planning Committee has already agreed, such as the location of the bridges or the use of the railway cutting.

Condition 17 (CEMP)

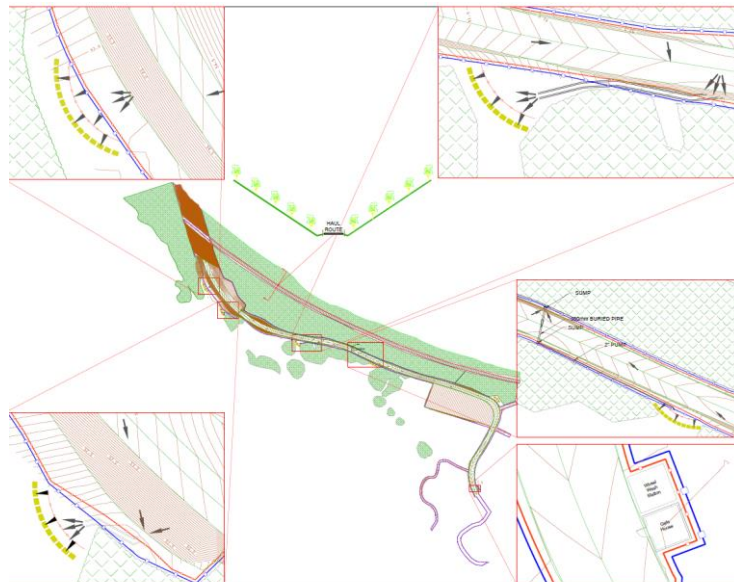
9.3 Condition 17 imposed upon the cancer hospital consent required various matters (12 points) to be discharged. The condition was constructed in order to allow a phased and progressive discharge of details at key stages of the construction programme to ensure that various relevant points can be considered at the appropriate stage of development and also allow consideration of the wider site context at the same time. It was therefore not anticipated that all points of the condition would be discharged simultaneously.

9.4 As a result and as noted by the objectors not all points have been addressed in the CEMP report; but the report sets the scope of the submission and also demonstrates how it meets the framework that was approved by the planning committee under application reference 20/01515/MJR.

9.5 The key matters which are presented to Committee are summarised and assessed below:

Water Discharge

9.6 Concerns have been raised over surface water, and these are noted. The CEMP indicates, however, that any surface water would be localised to the railway cutting and would improve once the agreed replanting is in situ once the bridges are built. In terms of dealing with surface water management further details are provided within a 13 page surface water management plan and appendix 12.4a provides a plan of the location of straw and other mitigation (see below) with further details a monitoring, including action to be undertaken in an environmental emergency.



9.7 These details have been considered by the Councils' Drainage Officer and by Natural Resources Wales, who are both satisfied that for this phase of the build the details are acceptable to partially discharge the condition.

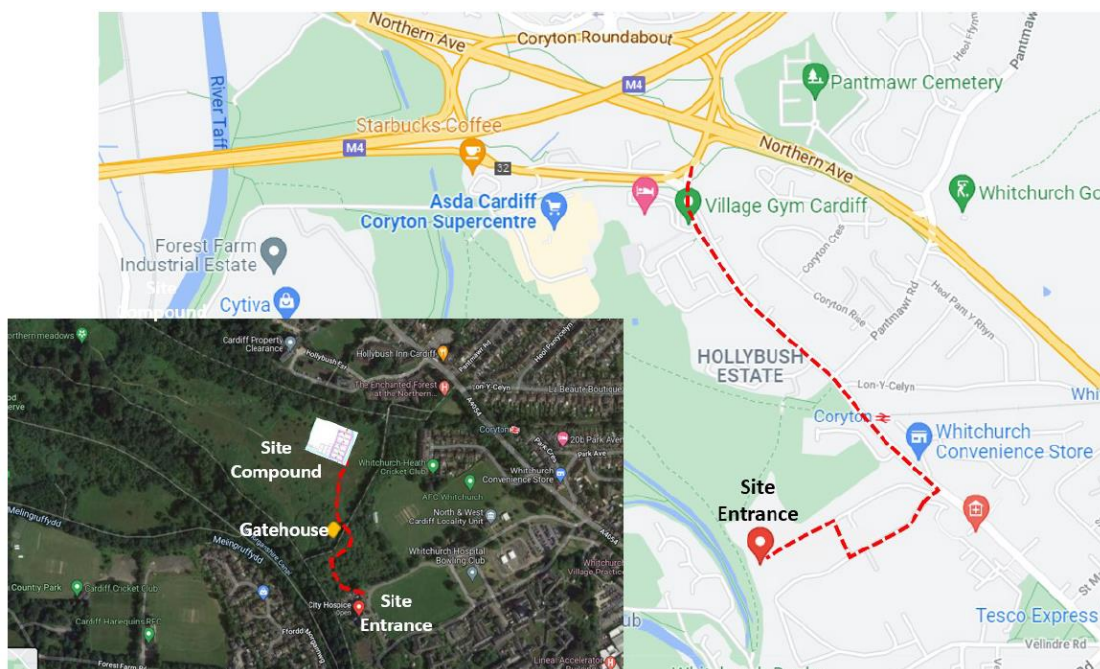
Traffic / Parking

9.8 The proposed construction access has been agreed through the principal Planning Permission, and proposes the first 9 months to be via the Lady Cory Field and via the Whitchurch hospital site (TCAR1). The submitted CEMP accords with this host permission.

9.9 During the initial use of Lady Cory Field (paragraph 1.7.1 of CEMP) as the principal access for these works, vehicles would utilise the railway cutting, which would mean that construction vehicles would need to reverse down the

cutting and turn within the Lady Cory field to exit the site. This principle has already been agreed through the planning permission reference 17/01735/MJR and the site wide CEMP, reference 20/01515/MJR. These vehicles will be marshalled by 'banksmen' to ensure highway safety is maintained.

- 9.10 It is noted that local residents are concerned that this approach would undermine the safety of the users of the adopted highway, however the Transportation Officer is satisfied that this is an appropriate measure, and raises no objection to the discharge of the condition.
- 9.11 Having regard to the sensitivity of highway use around school drop-off and collection, the submitted CEMP precludes the use of the access between the hours of 8.00 - 9.30 am & 2.30-3.30pm. The CEMP states that this will be communicated to all stakeholders and access will be denied during such hours. Importantly, the CEMP states that any breaches will be reported and offending suppliers will be notified. Whilst representations indicate that this 'blackout' period is too short, it is nevertheless considered acceptable to officers as it strikes the appropriate balance between allowing school children to safely access their schools, and allowing the developer to undertake their lawful development.
- 9.12 The principle of using Temporary Construction Access route (TCAR1) (paragraph 1.7.2 of the CEMP) for construction activities has been agreed through the parent planning permission reference 17/01735/MJR and the site wide CEMP. This allows access and egress from Whitchurch hospital onto Park Road then the Coryton Roundabout.



- 9.13 From this access point would enter the main site from the Whitchurch Hospital. To ensure that the adopted highway and public rights of way (PROW) can be opened for as long as possible marshalls will be on site to regulate the traffic ensuring safe passage to users of the area. As for the Lady Cory field access, it is noted that local objectors consider this to be unacceptable, however it is

again reiterated that both the council's PROW and Highways Officers consider that this is an acceptable method of controlling conflict between construction traffic and users of the area.

- 9.14 Proposed car parking is confirmed as being within the main application site and on the former tennis courts sites with access via the temporary access route through Whitchurch Hospital. The Transportation Officer has considered the arrangement and raises no objection to the proposal. Committee will note that the parking arrangement for this and the other application (22/00725/MJR) before committee are the same.

Ecology

- 9.15 This submission seeks the method of the removal of the trees to be felled as part of the bridges works approved under application 17/01735/MJR. This CEMP submission follows the agreed principles of the site wide CEMP approved by Committee in the previous submission reference 20/01515/MJR and therefore this submission is acceptable.
- 9.16 Members' attention is drawn to the fact that during these works appropriate specialists will be on site to: a) ensure the felling of the trees accord with the submitted details, and b) ensure that any unexpected matters that are found on site can be assessed by environmental experts. The proposed mitigation (not the subject of this application) and timeline would follow the details committee approved at its meeting in December 2020.
- 9.17 Natural Resources Wales have considered these matters and consider the submission acceptable.
- 9.18 It is also noted that there is a requirement for a suitability qualified Arboriculturist to be on site during works to trees and provide the LPA with a report to demonstrate compliance with this submission.

Noise and Vibration

- 9.19 Chapter 10.4 of the CEMP sets out the need to reduce noise to City Hospice and nearest residential properties. The report identifies that works would be undertaken during daylight hours; and (at para. 6.1.2) states that there will be a stakeholder communication strategy, which includes a strategy for complaint handling and communication with residents prior to undertaking 'noisy' work. In addition, before works are undertaken an independent acoustic assessment will be taken in line with industry standards (BS5228).
- 9.20 Whilst it is not anticipated that the construction of the bridge(s) would exceed the levels set out in the previously approved CEMP, it is recognised that in the event of complaints being received, updated and in situ information will be required to make an assessment of the validity of the complaints. It is noted (paragraph 1.6) that piling (which is a noisy activity) is not proposed for this phase of development.
- 9.21 Committee will also note that Shared Regulatory Service (Noise) raise no objection to this proposal.

Air Quality (including dust)

9.22 CEMP (paragraph 5.1) outlines a number of steps to minimise generation of dust by utilising, where site conditions dictate, the following control measures:

- Establish Site Rules that mitigate dust pollution such as:
 - Speed limits
 - Arrangements for access, egress, and routes of travel
 - Requirement for sheeting road lorries
 - Switch off engines when stationary - no idling.
 - No burning of materials on site at any time
- Limiting removal of vegetation to as small an area as possible to implement the works.
- Installing hard surfaces (compacted crushed aggregate or the like) to long term haul routes.
- Regularly dampening down un-surfaced haul routes and working areas in dry conditions.
- Mist cannons should be deployed where required, such as during excavation works, moisture control works, dampening down of stockpiles.
- Drop heights of excavated/backfill materials will be minimised.
- Stockpiles will be shaped to avoid steep sides and sharp edges to reduce entrainment of dust by exposure to wind. Stockpiles of fine grained, friable materials requiring open storage will be sheeted or otherwise contained until they are required.
- All powders shall be stored in sealed bags, containers, or silos.

9.23 In addition, static dust collectors will be positioned around the site. These monitors will be inspected by the consultant and the dust samples analysed in a UKAS accredited laboratory to provide fortnightly reports. These reports shall be summarised in the monthly progress reports to the client and made available to the local authority upon request.

9.24 The proposed control measures are considered appropriate.

Closure of the Public Right of Way (PROW)

9.25 Previous legal orders have been undertaken to close various PROW within and around the site, and as identified earlier, to facilitate these works construction access will be via Lady Cory field and the railway cutting public right of way (PROW), with both of these routes required to be closed to the public for health and safety reasons.

9.26 The suggested closure period and diversion raise no objections from technical consultee and are therefore acceptable, in planning terms. The principle of the closures are thus agreed, albeit there is a recognition that there is a due legal process that needs to be undertaken with the council's PROW team and highways asset management team. Whilst these closures will cause inconvenience, appropriate routes will be provided to allow access where it is safe to do so.

Communication

- 9.27 Following concerns expressed during earlier works to trees on the site, the communication strategy has been strengthened in the CEMP. There will now be weekly meetings with the developer and the council (including ward councillors). The complaints protocol now has a bi-lingual email address nVCCconcerns@wales.nhs.uk or pryderonCGFn@wales.nhs.uk but the remainder of the strategy is the same i.e. advance communication with key stakeholders including the school and ward councillors.
- 9.28 As commented by objectors the response to complaints has been slow, and this is acknowledged, however there is a need to allow appropriate investigation of matters raised, however there is a recognition by Velindre and the contractor that timely responses are required.

Other Matters in CEMP

- 9.29 Members should also note that the CEMP provides details above the requirements of the condition, covering general matters to comply with Health and Safety regulations e.g. locking gates to compounds. However it is not the role the LPA to enforce general good practise or Health and Safety legislation.

Summary

- 9.30 As identified earlier, this application seeks technical approval of a condition requiring approval of a Construction Environmental Management Plan. The condition was imposed in the interests of highway safety and public amenity.
- 9.31 A major new development will always have impacts and cause disruption, with the purpose of a CEMP being to manage such construction impacts to ensure that these impacts are minimised as much as possible. In this context, the CEMP has been revised throughout the course of this application to address identified issues, with the final version of the CEMP having been reviewed by all technical consultees (notably highways and Shared Regulatory Services) who have considered the impact upon residential amenity and highway safety and raise no objections to the discharge of the condition.
- 9.32 Accordingly, the submitted details are considered acceptable and sufficient to be approved under condition 17 (which will be partially discharged given the need to comply with the approved details, and for further submissions relating to future phases).

Other Matters

- 9.33 Having regard to the representations received on the application, the following addresses those matters that have not been considered above: -
- Concern over the cross referencing with approved documents from the wider approved CEMP is noted. Officers acknowledge that the submission is complex in nature due to the complexity of the site and proposal. It is emphasised, however, that these are technical matters reserved for subsequent approval following the grant of planning permission for the

development in question. Nevertheless it is noted that the majority of the submission is information that was already approved under reference 20/01110/MJR and has been submitted to demonstrate how this submission accords with the principles approved by the Planning Committee.

- The route within the CEMP is the same as that approved through the site-wide CEMP and the principles set by the planning application 17/01735/MJR
- Concern over flooding from the loss of the trees and soil is noted but is considered to affect the railway cutting and would be limited in time and area. Technical consultees raise no objections to the proposals.
- Access to the site accords with the principles set within the planning approval. The submission accords with the overarching CEMP that committee approved in December 2020;
- As discussed, and agreed by committee in December 2020, condition 17 is an overarching condition and that for various phases of development not all points are applicable;
- Welsh Water raise no objections to the partial discharge of this CEMP;
- Concern over the correct legal process of the Highways Act is noted i.e S171 V 278. The Council's Highways Officer notes the concern but has advised that the condition can be partially discharged.
- Concern has been raised that there is the *potential* for night-time working. This will be considered and assessed through a S61 licence to the council's shared regulatory services, where a strong justification will be required to allow the licence that will come with strict controls, beyond that the planning system can impose. *If* such a licence is agreed then the applicant will need to seek to vary this CEMP and their European Protected Species licence (EPSL). It is considered all these factors will ensure that any night-time working be limited to protect residential amenity and ecological concerns
- Concern over parking is noted. The CEMP states that parking would be within the compound on the site and within Whitchurch hospital. The CEMP provide how this would be regulated and enforced. However, as was evidence when the tree felling was undertaken, there were occasions where visitors to the site were not informed of where they needed to park but the CEMP has addressed this point through their enhanced communication strategy.
- Ecological considerations have been considered within the CEMP and conclude no over effect upon the SSSI or protected species during the building of the bridge(s). In addition, during the construction activity the CEMP states that an ecological clerk of works will be on site supported by appropriately qualified ecologist and arboriculturalist. Committee will note that no objection has been raised by the Tree Officer or NRW on environmental matters.

- Concern over traffic data is noted but the assessment is based upon likely traffic movements of up to 100 HGVs per day (200 movements). The background assessment both in the application and the approved CEMP were pre-covid levels. It is noted that the Highways Officer raises no objection to the partial discharge of this condition.
- Concern over the assessment of the cleanness of the road is noted. The CEMP states that wheel washing facilities will be provided and that regular inspections of the road will be undertaken and recorded. Where it is noted that due to the construction activities then appropriate cleaning of the road will be undertaken. These assessments and remediation are standard practises on large sites and lessons have been learnt from the felling of the trees within the site. Again, it is noted that the Highways Officer has considered this point and recommends that the condition can be partially discharged.
- As noted by the objectors the compounds outlined within the CEMP have been used during the felling of the trees and are in line with the site wide approved CEMP. It is noted that the objectors believe the compound will need to be bigger than seeking approval. However, consultees are satisfied that the compound will be sufficient with no unacceptable impacts arising on the public highway.
- Concern has been raised that the planning process does not provide meaningful dialogue with the community affected by this proposal and that the LPA are only undertaking consultation as a 'tick box exercise'. The requirements for community engagement are a legal requirement under the EIA regulations and there is a legal duty to consider representations made. This report is considered to represent the concerns raised and provides an assessment to allow the committee to make an informed planning judgement based upon the matter for consideration;
- As discussed above and reiterated here, this application does not allow the reopening of the principles set by the planning permission or the overarching CEMP discharge approved by the committee in 2020;
- The discharge of this condition accords with the principles set under planning permission 17/01735/MJR which was the subject of the EIA regulations and as such the environmental impact has been considered and the submitted Environmental Statement remains fit for purpose. It is also recommended that an ecologist and arboriculturist are on site to supervise the works being undertaken to ensure the environmental considerations are met on site.
- Concern over the regrading of the Lady Cory field are noted but allow a suitable gradient for cyclist and future users the existing land will need to re-graded and have been approved by the committee through the discharge 10 of the planning application 17/01735/MJR (ref. 21/01954/MJR).

10. OTHER MATTERS RELEVANT TO THE CONSIDERATION OF THIS APPLICATION

- 10.1 Crime and Disorder Act 1998. Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 10.2 Equality Act 2010. The Act identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.
- 10.3 Well-Being of Future Generations Act 2016. Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision. It is also noted that section 2(5) of the Planning (Wales) Act 2015 affords protection to decisions taken under Part 3 of the 1990 Act, in that the Well-being of Future Generations (Wales) Act 2015 does not alter whether regard is to be had to any particular consideration under section 70(2) of the 1990 Act or the weight to be given to any consideration to which regard is had under that subsection. This means the provisions of the development plan, so far as material to the application, and any other relevant other material considerations remain the primary considerations when determining planning applications.
- 10.4 Section 6 of Environment (Wales) Act 2016 subsection (1) imposes a duty that a public authority must seek to maintain and enhance biodiversity in the exercise of its functions, and in so doing promote the resilience of ecosystems, so far as is consistent with the proper exercise of those functions. In complying with subsection (1), a public authority must take account of the resilience of ecosystems, in particular the following aspects:
- (a) Diversity between and within ecosystems;
 - (b) The connections between and within ecosystems;
 - (c) The scale of ecosystems;
 - (d) The condition of ecosystems (including their structure and functioning);
 - (e) The adaptability of ecosystems.

It is considered that the LPA has considered its duty under this Act and has met its objectives for the reasons outlined above.

10.5 EIA development: The application constitutes a 'subsequent application' for the purposes of Part 3, Regulation 9(1)(a) & (b) of the Town & Country Planning (Environmental Impact Assessment) (Wales) Regulations 2017. The application has been prepared in substantial accordance with the parameter plans, drawing and documents that were approved as part of the planning permission for the new Velindre Cancer Centre (LPA reference 17/01735/MJR, granted 27/03/2018). This current application, in relation to a condition of that permission, does not give rise to any significant effect on the environment, beyond those which were considered as part of the Environmental Statement, that was approved under the above planning permission. The environmental information already before the local planning authority is considered adequate to assess the significant effects of the development on the environment, and has been taken into consideration as part of this application in accordance with the aforementioned Regulations. It is considered, therefore, that a further addendum to the Environmental Statement is not required to accompany this submission.

11. CONCLUSION

11.1 It is recommended that condition 17 is partially discharged in the manner outlined above at this time and that given the complexity of the development and of the site, that the phased discharge of this condition at key points within the programme is acceptable and appropriate to control key elements of the project as it progresses. Concerns raised are noted, but are not material to this stage of discharging the condition i.e. Condition 17.

11.2 As noted in the report, further submissions will be required to cover later phases of the development as it progresses, and such submissions will be iterative and be able to take on board lessons from the experience of the initial phases of the development as it progresses.

11.3 There are no technical objections to the discharging of condition 17 and the submission is in line with the plans considered by the committee in December 2017.

11.4 For the above reasons, the proposal is considered acceptable and it is recommended that the condition 17 can be partially discharged as outlined in recommendation 1 of this report.

12. RECOMMENDATION

- **RECOMMENDATION** : That condition 17 (construction environment management plan), of 17/01735/MJR shall be partially discharged and shall be undertaken in accordance with the updated document "CEMP version 7 (dated 28/06/22) and the email from the agent Mark Farrar dated 13/7/2022
- **INFORMATIVE 1**: The applicant is reminded that during the works an arboriculturist and ecologist are on site before, during and after the whole works and provide a report to the Local Planning Authority to demonstrate compliance with the approved details.

- **INFORMATIVE 2:** To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays.

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LOCAL MEMBER OBJECTION & PETITION

COMMITTEE DATE: 10/08/2022

APPLICATION No. **22/00711/MNR** APPLICATION DATE: 12/04/2022ED: **SPLOTT**

APP: TYPE: Full Planning Permission

APPLICANT: MR PRITCHARD

LOCATION: 100 SPLOTT ROAD, SPLOTT, CARDIFF, CF24 2DB

PROPOSAL: GROUND FLOOR EXTENSION, REAR DORMER AND ALTERATIONS TO CREATE A 7 BEDROOM SUI GENERIS HOUSE IN MULTIPLE OCCUPATION

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development shall be carried in accordance with the following approved plans:
 - CXB2/3/c
 - CXB2/4/a
 - CXB2/6/c

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Prior to the beneficial use of the property as a 7 bedroom HMO 7 undercover and secured cycle parking spaces, as indicated on the submitted plans, shall be provided within the curtilage of the property and shall thereafter be retained and maintained for as long as the use hereby permitted remains in existence.

Reason: To ensure that secure cycle parking facilities are provided to encourage other modes of transport over the private car in accordance with Policy T5 of the Cardiff Local Development Plan 2006-2026.

4. Prior to the beneficial use of the property as a 7 bedroom HMO a refuse storage area, as indicated on the approved site layout plan, shall be provided within the curtilage of the property. The refuse storage area shall thereafter be retained and maintained for as long as the use hereby permitted remains in existence.

Reason: To secure an orderly form of development and to protect the amenities of the area in accordance with Policy W2 of the Cardiff Local Development Plan 2006-2026.

5. The materials to be used in the construction of the external surfaces of the ground floor rear extension and dormer roof extension hereby permitted shall match those used on the existing building.
Reason: To ensure the external materials harmonise with the existing building in the interests of the visual amenity of the area in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.
6. No more than 7 occupants shall reside at this property at any one time.
Reason: For the avoidance of doubt as the permission hereby granted relates to the use of the property as a Sui Generis HMO.

RECOMMENDATION 2 The applicant be advised that the property may now be licensable under Part 2 of the Housing Act 2004 and in this respect they should contact Shared Regulatory Services on 0300 123 6696 to confirm if a license is required.

RECOMMENDATION 3: That the applicant be advised that no work should take place on or over the neighbour's land without the neighbour's express consent and this planning approval gives no such rights to undertake works on land outside the applicants ownership.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application seeks planning permission to change the use of a C3 residential dwelling into a 7 bedroom sui generis HMO together with the erection of a ground floor rear extension and a rear dormer roof extension. The submitted drawings/details provide information regarding the principal matters for consideration as set out in the relevant Supplementary Planning Guidance.
- 1.2 Internally the property accommodates two en-suite bedrooms and a lounge/kitchen on the ground floor; three en-suite bedrooms on the first floor; and two bedrooms and a shower room on the second floor within the converted roofspace.
- 1.3 Externally a rear amenity area of approximately 44 square metres will be provided excluding the area shown for waste storage and cycle storage.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a two storey property located within a terrace of two storey properties within the Splott Ward of Cardiff. The lawful use of the property is as a C3 residential dwelling.

3. **RELAVANT SITE HISTORY**

None.

4. **POLICY FRAMEWORK**

- 4.1 The site lies within a residential area as defined by the proposals map of the Cardiff Local Development Plan 2016.

Relevant National Planning Guidance:

Planning Policy Wales (2021)
Future Wales: The National Plan 2040 (2021)
Planning Policy Wales TAN 11: Noise
Planning Policy Wales TAN 12: Design
Planning Policy Wales TAN 15: Development and Flood Risk
Planning Policy Wales TAN 21: Waste

Relevant Cardiff Local Development Plan Policies:

Policy KP5 : Good Quality and Sustainable Design
Policy KP8: Sustainable Transport
Policy KP13 : Responding to Evidenced Social Needs
Policy EN 14 (Flood Risk)
Policy H5 : Sub-Division or Conversion of Residential Properties
Policy T1 : Walking and Cycling
Policy T5 : Managing Transport Impacts
Policy W2 : Provision for Waste Management Facilities in Development

Relevant Supplementary Planning Guidance:

Waste Collection and Storage Facilities (2016)
Houses in Multiple Occupation (2016)
Cardiff Residential Extensions and Alterations (2017)
Managing Transportation Impacts (Incorporating Parking Standards) (2018)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Waste Management have been consulted and have advised that the proposed area for the storage of waste and recycling has been noted and is acceptable.

The property will require the following for recycling and waste collections:

- 1 x 240 litre bin for general waste
- 2 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 140 litres)
- 1 x 240 litre compost bin if required

The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Residents will be required to present all waste themselves to the kerbside for collection.

5.2 Traffic and Transportation have been consulted and have not commented on this application.

6. **EXTERNAL CONSULTEE RESPONSES**

6.1 South Wales Police have been consulted and have not commented on this planning application.

7. **REPRESENTATIONS**

7.1 Neighbours have been consulted and objections have been received from 72, 83, 84, 90, 96, 102, 109 Splott Road and 231 Railway Street. A summary of the objections is as follows:

Insufficient parking facilities

Disruption whilst building work takes place

Waste management issues

Health and Safety concerns due to potential fire, rubbish and or vermin

Increased noise from occupiers and visitors;

Loss of privacy from the dormer roof extension;

Increased potential for anti social behaviour

Change in the character of the area from family homes in a street close to schools and parks

Sub standard accommodation

There is a bus stop outside the property where school children catch the bus

7.2 An objection has also been received from Local Ward Councillor Henshaw who has advised the following:

I have been asked by Splott residents to support their objection to two separate planning applications to convert a house into an 8 bedroom HMO - 88 Splott Rd. Ref No - 22/00796/MNR and 100 Splott rd. Ref No- 22/00711/MNR

Residents are concerned that following the recent conversion of a nearby house on Splott Rd, into an 8 bedroom HMO, these two extra conversions could potentially see 24 extra cars looking for parking in a limited area.

They are concerned that both these applications will change the character of the street, currently an area of family homes, close to a school a play area and a park.

The loss of garden space at both of these properties would be a loss of an important amenity for future tenants and the loss of a small but much needed home for Biodiversity.

The presentation of waste, potentially an additional 16 green bags, 16 food caddies and on alternate weeks 16 black bags is a challenge on an average sized footpath, to pedestrians, who won't have the option of stepping onto the

road to avoid them, as Splott road is a busy road.

There is concern that the lack of access for future tenants, to a garden, waste storage and bicycle storage will make both these conversions, inadequate living spaces, unable to meet the needs of future tenants.

Residents are concerned that the building of a dormer window in both properties will lead to a lack of privacy for both residents and future tenants.

- 7.3 A petition of 52 signatories has also been submitted objecting to the proposal. A summary of the petition is as follows:

Potential negative impact on adjacent properties and the local community of their street from disruption of the build;
Burden on local resources;
Parking;
Privacy;
Potential antisocial behaviour and noise;
Changes to the character of the area.

8. **ANALYSIS**

- 8.1 This application seeks planning permission to convert the property presently used as a C3 residential dwelling into a 7 bedroom sui generis HMO together with the erection of a ground floor rear extension and a rear dormer roof extension. Since the application was originally submitted amended plans have been submitted which has reduced the number of occupants from 8 to 7, reduced the size of the ground floor rear extension and replaced the existing large detached outbuilding with a 7 space cycle store. As the proposal seeks tenanted living accommodation occupied by up to seven people, who are not related and who share one or more basic amenities as their only or main residence, the main issue for this application is the impact the change of use will have on the character of the area, the 'community and the living conditions of future occupiers of the property together with the impact of the extension and the dormer roof extension upon the surrounding neighbouring properties.

- 8.2 **Policy Considerations** - In respect of the conversion of the property to 7 bedroom HMO Policy H5 of the adopted LDP is considered relevant. Further guidance can also be found in the adopted HMO SPG.

- 8.3 Policy H5 of the LDP is considered to be a prescriptive policy whereby as long as the relevant criteria is met there is unlikely to be any objection to such proposals. It advises that:

"Proposals for any conversion to flats or Houses in Multiple Occupation will be permitted where:

- i. The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.*
- ii. There would be no material harm to the amenity of existing, nearby*

- residents by virtue of general disturbance, noise or overlooking.*
- iii. *The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area.*
- iv. *Does not have an adverse effect on local parking provision.”*

8.4 The approved Supplementary Planning Guidance on HMO's further expands on this Policy and aims to provide background information on and provide a rationale for how the Council will assess applications for planning permission to create new C4 and *Sui Generis* HMOs. It aims to identify the threshold at which it is deemed that the concentration of HMOs in an area has reached a level considered to adversely impact upon the community. It is recognised that HMOs can provide an important source of housing and it is recognised that demographic change has driven many of the changes that have seen traditional family homes become HMOs. HMOs are a popular accommodation source for many groups, including students, young professionals, migrant workers and often people on lower incomes.

However, concentrations of HMOs clustered in small geographical areas can detract from the character of the area and actively contribute towards a number of perceived problems, including, but not limited to:

- Increased population density, leading to greater demand for infrastructure, such as waste collections and on-street parking.
- Higher proportion of transient residents, potentially leading to less community cohesion, undermining existing community facilities
- Areas of higher HMO concentrations becoming less popular with local residents, with many properties taken out of the owner-occupier market.
- A proliferation of properties vacant at certain points of the year
- Subsequent impact on crime, local centre viability, as a result of the number of properties temporarily vacant for long periods.

It is considered that this may conflict with policy KP13 of the LDP which aims to improve the quality of life for all.

Having identified some of the issues caused by HMOs the Council considered it was necessary to determine a threshold at which new HMOs may cause harm to a local area. This threshold will resist further HMOs in communities that already have a concentration above this limit, while also controlling the growth of HMOs in communities below this threshold. A two-tier threshold will therefore be applied to determine when an area has reached the point at which further HMOs would cause harm. In Cathays and Plasnewydd the figure of 20% is to be applied and in all other wards, the figure of 10% is to be applied.

This means that within Cathays or Plasnewydd, if more than 20% of the dwellings within a 50m radius of the proposed HMO are already established HMOs (i.e. either C4 or *sui generis* in planning terms) then this development would be considered unacceptable. In other wards the figure would be 10%.

When calculating the number of HMOs within the 50m radius, it is important to refer to and respect the location of existing HMOs. This will be determined by using data at the Councils disposal such as planning applications, licensed HMO data, Council Tax data or electoral roll information. This will help identify the areas where the concentration is such that the Council will seek to prevent additional HMOs.

Having regard to the “cumulative impact” of such conversions in respect of this application, analysis has been made on the extent of HMO’s (including those defined as such under Sections 254 259 of the Housing Act 2004) against the threshold limits identified above. As the application site is located within the Splott Ward of Cardiff a 10% threshold limit will be relevant. There are 31 properties within a 50m radius of the application site. Of these 1 is registered as a HMO which equates to 3%. The threshold for Splott is 10% therefore the proposal is below the threshold contained within the SPG on HMO’s.

8.5 **Room Sizes** – The Cardiff HMO Licensing Fire & Safety Standards (updated in 2014) sets standards in terms of amenity, space standards and facilities which must be adhered to in order to obtain a License from the Council. From a planning perspective, paragraph 6.1.1 of the adopted HMO SPG identifies that this would be the minimum that would be expected to be achieved for all applications for both C4 HMO’s and larger sui generis HMO’s. Having had regard to this criteria the submitted plans indicate that these standards would be met.

8.6 **Waste** – Policy W2 of the Cardiff Local Development Plan seeks to ensure that adequate provision is made for waste management facilities within new developments, in order to aid the Council in meeting the challenging waste recycling targets set by European and National targets. Facilities provided should be secure, unobtrusive and easily assessable.

The adopted Waste Collection and Storage Facilities SPG supplements policies adopted in the LDP relating to the provision of waste management facilities in new development. Paragraph 4.12 of the approved SPG on Waste Collection and Storage Facilities advises that for HMO’s the recommended bin allocation for between 6 & 8 residents is as follows :-

1 x 240L bin for general waste
1 x 240L bin for garden waste (if required)
1 x 25L bins for food waste
Green bags for recycling.

Details of waste provision have been submitted as part of this application. Waste Management have confirmed that the submitted details are acceptable and condition 4 has been imposed accordingly.

8.7 **Transportation** – Policy KP8 of the LDP seeks to reduce travel demand and dependence on the car. It identifies that to accommodate the planned growth levels predicted for the city, existing and future residents will need to be far less reliant on the private car and seeks to ensure that more everyday journeys are

undertaken by sustainable modes of transport. Policy T5 of the LDP also identifies that all new development for which planning permission is required will contribute to reducing reliance on the private car, in line with national planning policies and the strategic transport objectives of the LDP.

The creation of a HMO in this sustainable location is considered to fundamentally accord with the principles of sustainable design, locating places to live within walking distance of local amenities, public transport links and places of work. It would therefore intrinsically accord with the principles of sustainable transport and the promotion of a 50/50 modal split, as promoted by Policy KP8, as occupiers would not be reliant upon the private car as a mode of transport. The creation of bicycle parking spaces for occupiers of dwellings is considered an essential element in promoting sustainability and achieving the modal split. The Managing Transport Impacts (Incorporating Parking Standards) (2018) SPG identifies that a HMO will require a minimum of 1 cycle parking space per bedroom. As the proposal is for a 7 bedroom HMO then 7 cycle parking spaces will be required.

In respect of cycle parking the applicant has submitted details showing the provision of 7 undercover and secure cycle parking spaces within the rear garden. These are considered acceptable and accord with advice contained within the SPG and condition 3 has been imposed accordingly.

In respect of car parking the Managing Transport Impacts (Incorporating Parking Standards) (2018) SPG identifies that a 7 bedroom HMO will require between zero and one off street car parking space to be policy compliant. The application does not propose any off street car parking spaces which is in accordance with the aims and objectives of both the LDP and SPG in seeking to reduce dependence on the private motor vehicle.

- 8.8 **Amenity Space** – Criterion i) of Policy H5 of the LDP advises that planning permission will be granted where *“The property is of a size whereby the ...external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.”* This is further reinforced by the HMO SPG which advises that amenity space is important in retaining a quality of life for people living within the dwelling. Paragraph 6.3.2 of the SPG states *“The City of Cardiff Council has typically used the figure of 25m² as the minimum expected external useable amenity space for C3 dwellings, i.e. for those dwellings up to 6 persons. This level should also apply to C4 properties. Each additional person would be expected to have 2.5m². As such, for example, the minimum expected for a 7 bed HMO would be 27.5m² of external amenity space. Each additional person should result in a corresponding increase of 2.5m². Useable amenity space is considered to be at least 1.4m wide, enabling storage and access.”*

In respect of amenity space as the application seeks permission for to change the use of the property to a 7 person HMO then 27.5 square metres will be required. Having undertaken an assessment of the proposal a private rear amenity space of approximately 44 square metres will be available for all occupiers to use in addition to provision for bin and cycle storage facilities. As

the minimum amenity space requirement, as specified in the HMO SPG, will be 27.5 square metres the proposal is therefore considered acceptable.

9. EXTERNAL ALTERATIONS

9.1 **Ground Floor Rear Extension** - In respect of the ground floor rear extension this is considered acceptable in regard to its scale and design and will provide a subservient addition to the dwelling which would not prejudice the general character of the area or the existing dwellinghouse. The scale of the proposal and its relationship with neighbouring properties is considered acceptable. It will be finished in materials to match the existing dwelling and it is considered that the proposal would not be overbearing or generally un-neighbourly which would justify concern. The extension has also been reduced in size since the application was originally submitted.

9.2 **Dormer Roof Extension and Rooflights** - In respect of the dormer roof extension this will be set up the roof slope and is to be finished in materials to match the existing roof covering in accordance with advice contained within the Residential Extensions and Alterations SPG and raises no concerns. The rooflights to the front elevation are considered acceptable. It should also be noted that a dormer roof extension of this size and rooflights could also be undertaken utilising existing Permitted Development rights.

10. OBJECTIONS

10.1 In response to the objections received the following should be noted:

- Insufficient parking facilities – This is covered in paragraph 8.7 of this report;
- Disruption whilst building work takes place – This is not a planning matter;
- Waste management issues – This is covered in paragraph 6 of this report;
- Health and Safety concerns due to potential fire, rubbish and or vermin – This is not a planning matter;
- Increased noise from occupiers and visitors – If residents/visitors are creating a noise nuisance then this would be a matter for the Pollution Control Section of Shared Regulatory Services to deal with;
- Loss of privacy from the dormer roof extension – The dormer roof extension complies with advice contained within the Residential Extensions and Alterations SPG. It could also be built at present utilising existing householder Permitted Development rights and did not therefore have to be included on this planning application;
- Increased potential for anti social behaviour – This would be a matter for the police;
- Change in the character of the area from family homes in a street close to schools and parks – This is covered in paragraphs 8.1 -8.4 of this report;
- Sub standard accommodation – This is covered in paragraph 8.5 of this report;
- There is a bus stop outside the property where school children catch the bus – This is not a planning matter;

11. OTHER CONSIDERATIONS

- 11.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 11.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.
- 11.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

12. RECOMMENDATION

- 12.1 The Council is mindful of the current climate with respect to the amount of HMO’s within the City and that there are concerns that a proliferation of such uses can undermine the character of an area to the detriment of local residents.

In respect of this application the Council is satisfied that the proposal complies with Policy H5 of the Cardiff Local Development Plan 2026-2026 and advice contained within the HMO Supplementary Planning Guidance as mentioned previously in this report.

Having taken all of the relevant factors into consideration there are no grounds to justify a refusal of this application and it is therefore recommended that planning permission be granted, subject to conditions.

PHOTOS—EXISTING



SITE LOCATION PLAN 1:1250

THE SITE



DTB DESIGN
 TEMPLE COURT 13a CATHEDRAL ROAD
 CARDIFF CF11 9HA
 TEL 029 2035 0365
 dtbdesignservices@gmail.com



REVISIONS

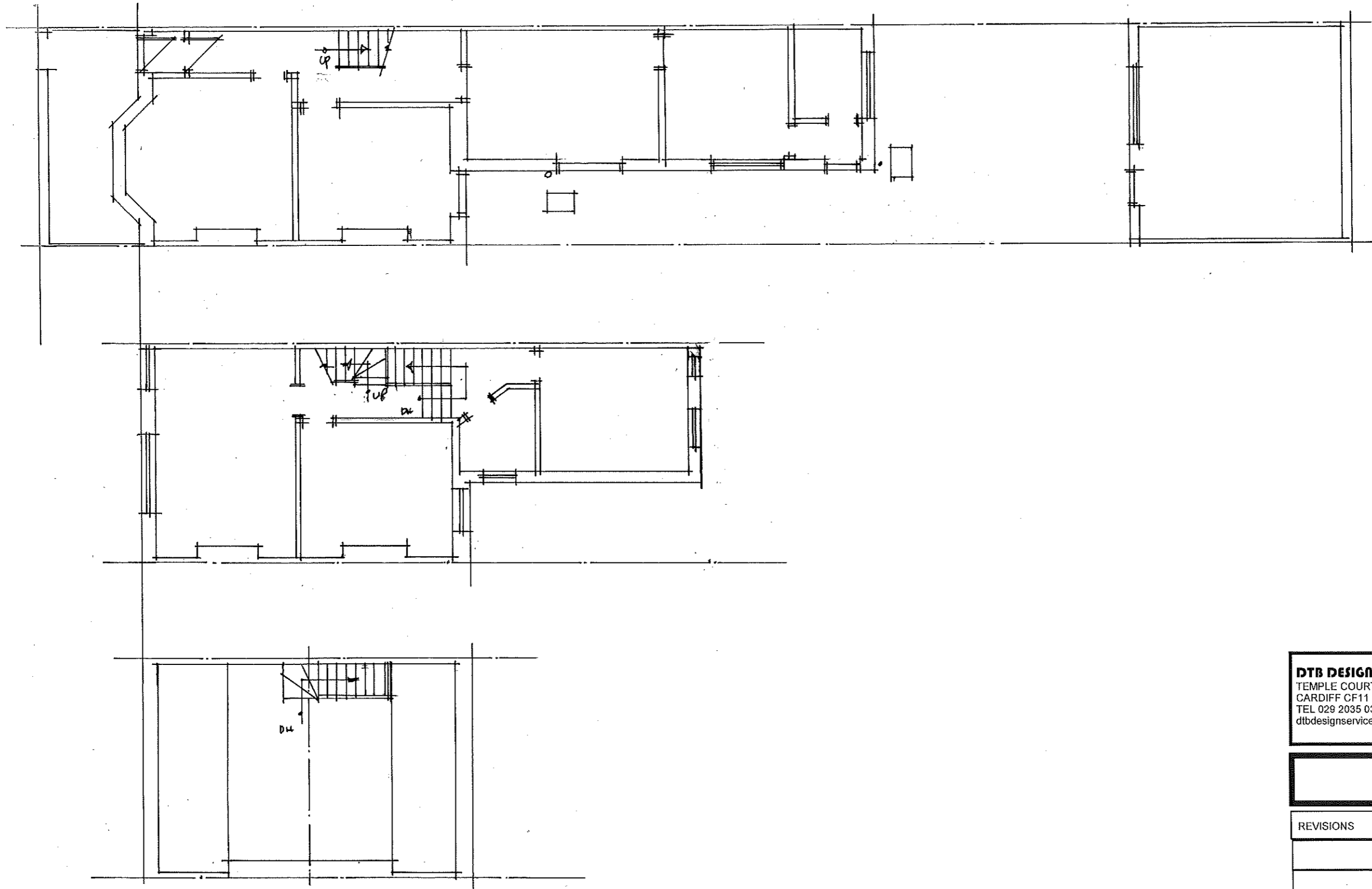
DTB DESIGN Architectural & Property Development Consultants

DESCRIPTION

DEVELOPMENT AT
 100 SPLOTT ROAD
 CARDIFF

March 2022

CXB2/1



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 CARDIFF CF11 9HA
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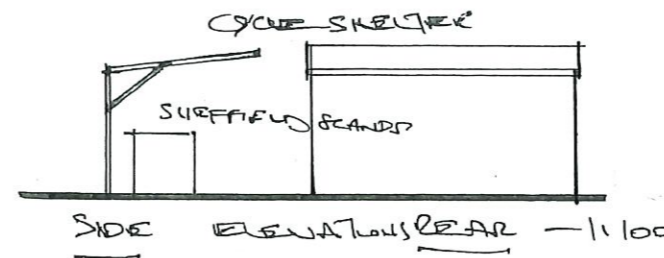
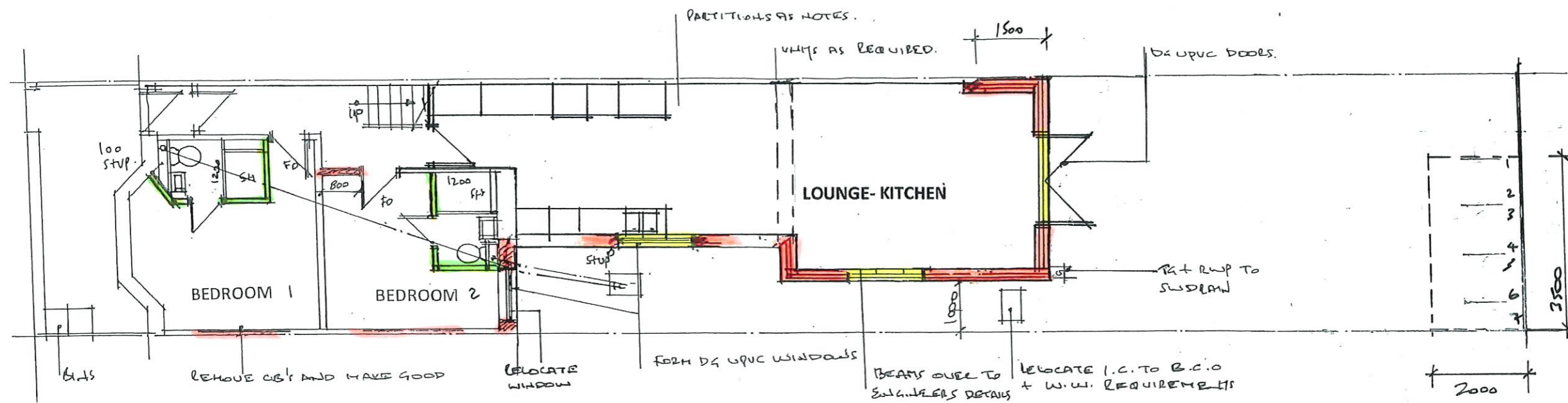
REVISIONS

DTB DESIGN Architectural & Property Development Consultants


DESCRIPTION
DEVELOPMENT AT 100 SPLOTT ROAD CARDIFF

March 2022 PLAN NO. CXB2/2

GROUND, FIRST & SECOND FLOORS EXISTING 1:100 at A3



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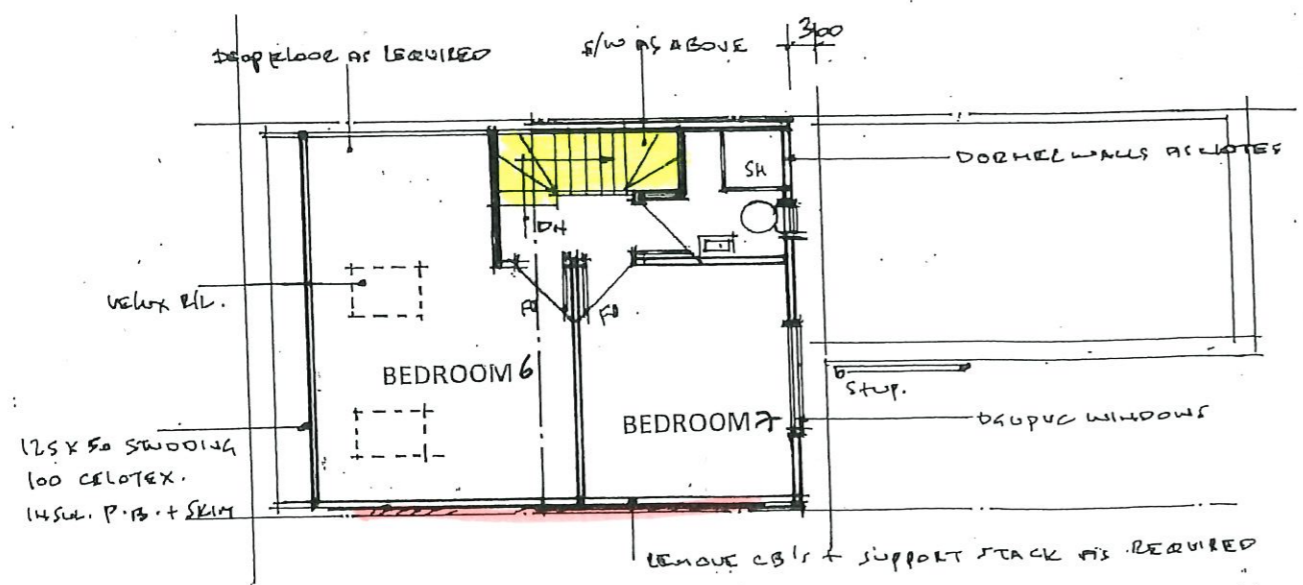
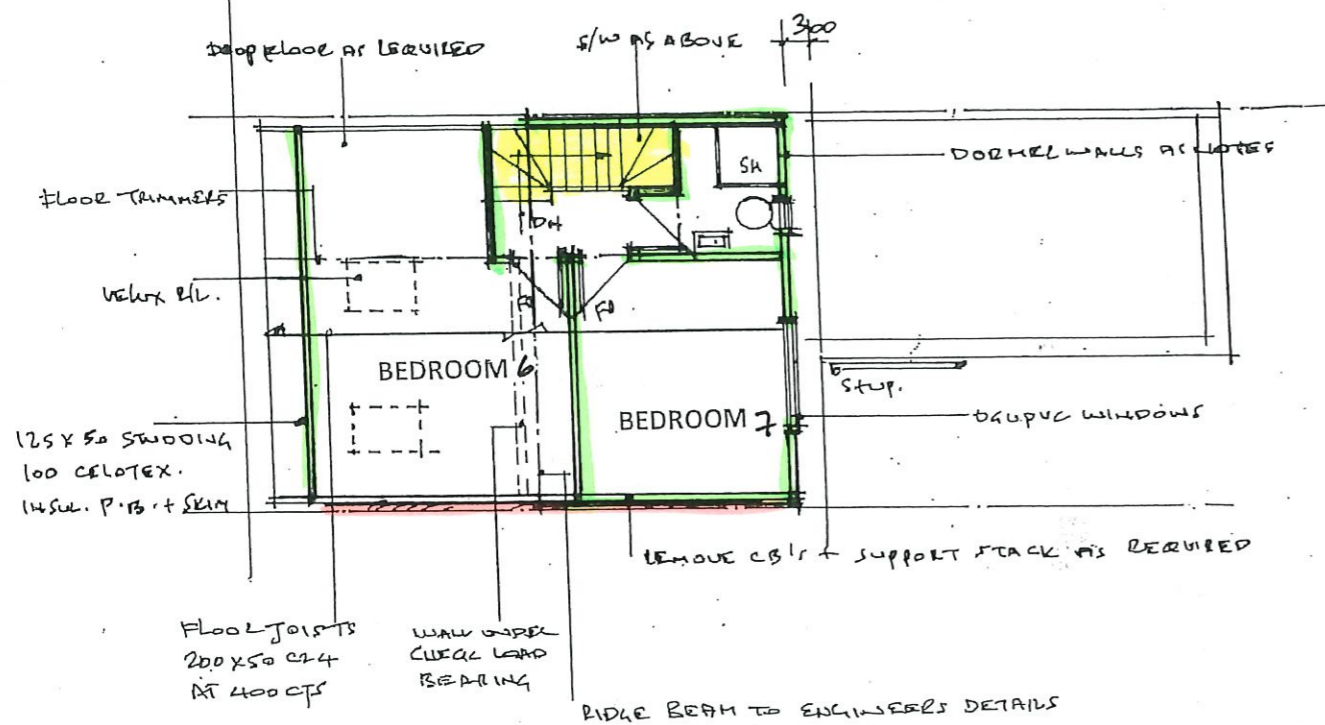
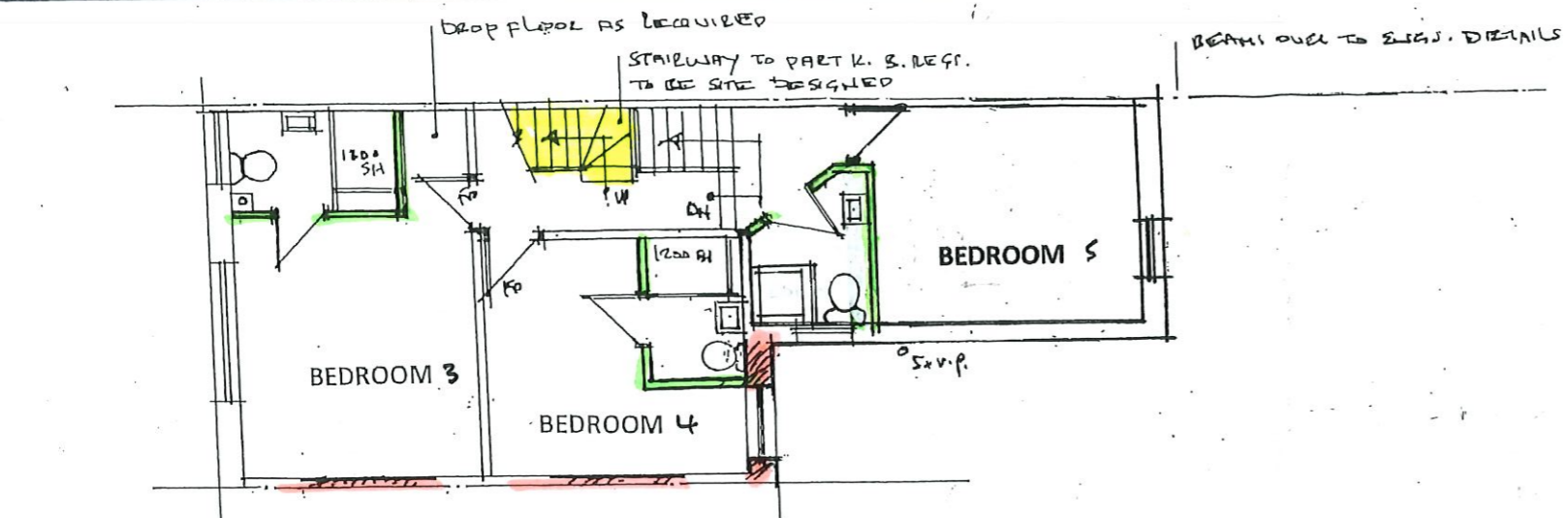
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DESCRIPTION


DEVELOPMENT AT
 100 SLOTT ROAD
 CARDIFF

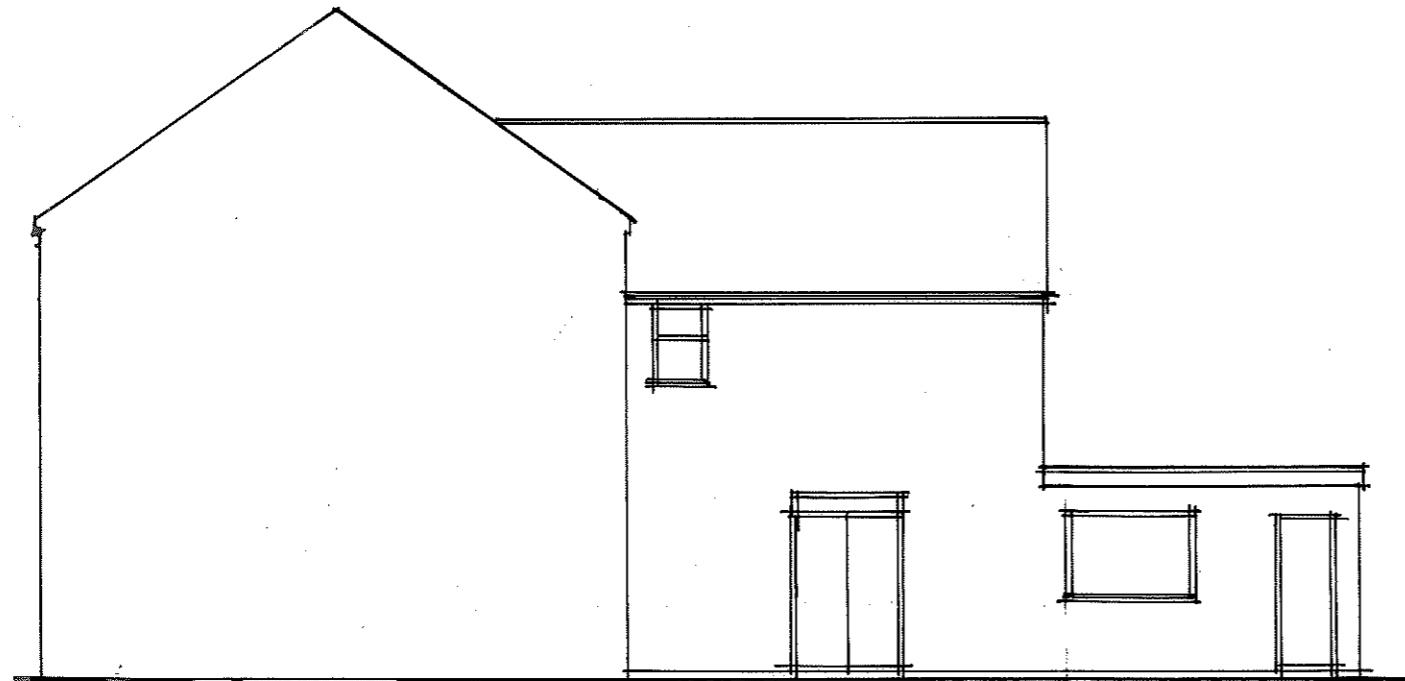
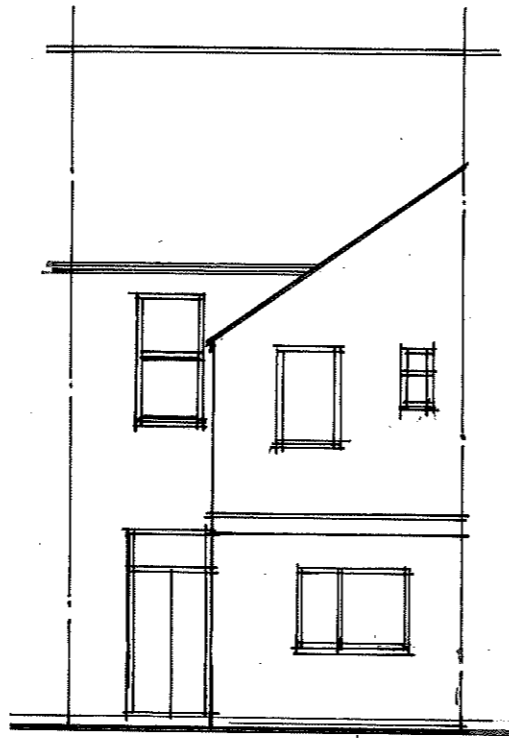
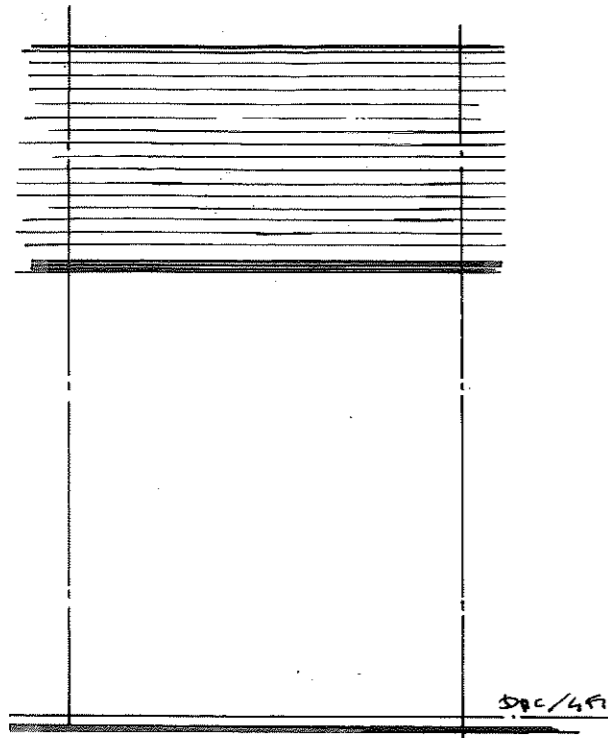
March 2022 PLAN NO. CXB2/3/a/p/k

GROUND FLOOR PROPOSED 1:100 at A3



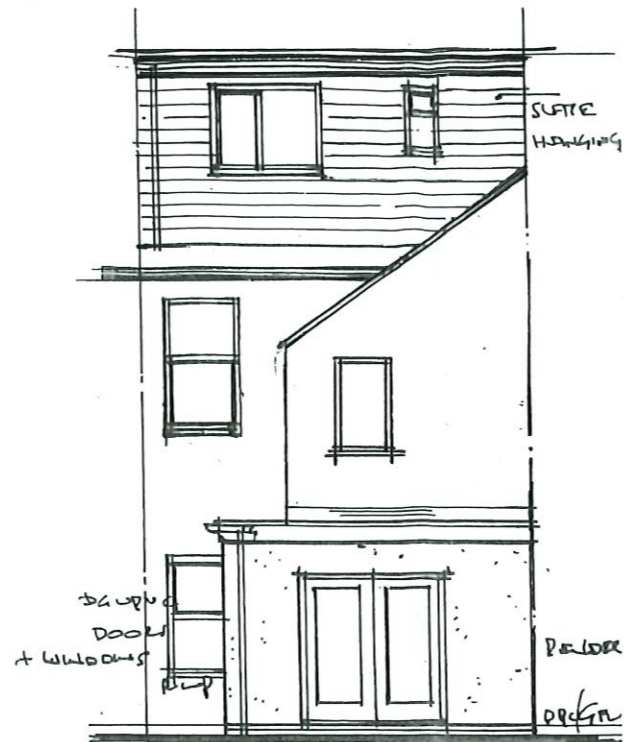
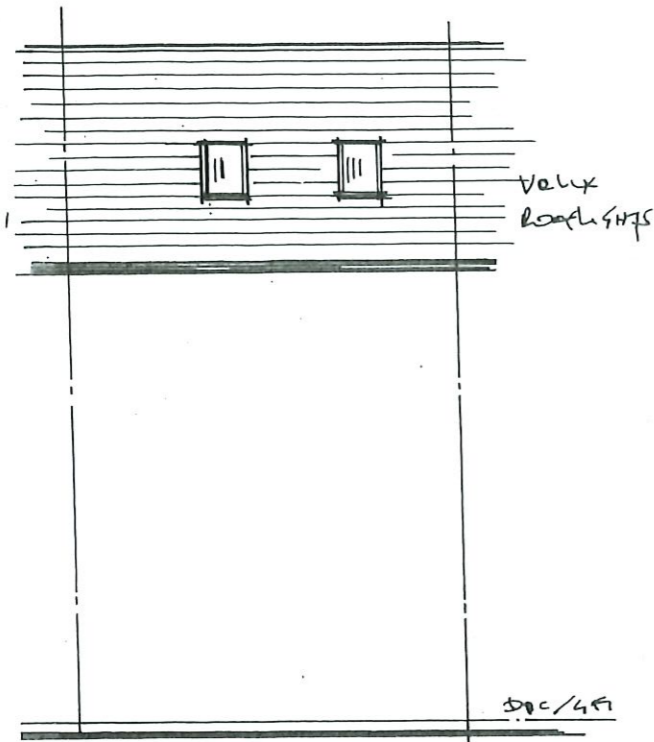
FIRST FLOOR & SECOND FLOOR LAYOUT PLUS SECOND FLOOR STRUCTURAL LAYOUT 1:100 at A3

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REVISIONS cl. levels @ 11/22 To meet @ 2/22		
DTB DESIGN Architectural & Property Development Consultant		
DESCRIPTION DEVELOPMENT AT 100 SLOTT ROAD CARDIFF		
March 2022	PLAN NO. CXB214/a	



FRONT, REAR & SIDE ELEVATIONS EXISTING 1:100 at A3

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REVISIONS		
DTB DESIGN Architectural & Property Development Consultant		
DESCRIPTION		
DEVELOPMENT AT 100 SPLOTT ROAD CARDIFF		
March 2022	PLAN NO. CXB2/5	



FRONT, REAR & SIDE ELEVATIONS PROPOSED 1:100 at A3

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REVISIONS

CC LEAD (D) H/24
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 T/used H/24

DTB DESIGN Architectural & Property Development Consultants

DESCRIPTION

DEVELOPMENT AT
 100 SPLOTT ROAD
 CARDIFF

March 2022 PLAN NO. CXB216/4/22

LOCAL MEMBER OBJECTION & PETITION

COMMITTEE DATE: **10/08/2022**

APPLICATION No. **22/00885/MNR**

APPLICATION DATE: 25/04/2022

ED: **CATHAYS**

APP: TYPE: Full Planning Permission

APPLICANT: MR COONEY

LOCATION: 76 MAINDY ROAD, CATHAYS, CARDIFF, CF24 4HQ

PROPOSAL: CHANGE OF USE FROM A C3 DWELLING HOUSE TO EIGHT PERSON HOUSE IN MULTIPLE OCCUPATION (SUI GENERIS), WITH GROUND AND FIRST FLOOR REAR EXTENSIONS, REAR DORMER ROOF EXTENSION, INSERTION OF ROOF LIGHT TO THE FRONT ROOF PLANE AND ASSOCIATED ALTERATIONS

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

1. C01 – Statutory Time limit
2. The development shall be carried in accordance with the following approved plans:
 - A116
 - A117
 - A118
 - A119
 - A120
 - A121
 - A122
 - Cycle Store Plan – Eight Cycle

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. Prior to the beneficial use of the property as an 8 bedroom HMO 8 undercover and secured cycle parking spaces, as indicated on the submitted plans shall be provided within the curtilage of the property and shall thereafter be retained and maintained for as long as the use hereby permitted remains in existence.

Reason: To ensure that secure cycle parking facilities are provided to encourage other modes of transport over the private car in accordance with Policy T5 of the Cardiff Local Development Plan 2006-2026.

4. Prior to the beneficial use of the property as an 8 bedroom HMO a refuse storage area as indicated on the approved site layout plan shall be provided within the curtilage of the property. The refuse storage area shall thereafter be retained and maintained for as long as the use hereby permitted remains in existence.
Reason: To secure an orderly form of development and to protect the amenities of the area in accordance with Policy W2 of the Cardiff Local Development Plan 2006-2026.
5. The materials to be used in the construction of the external surfaces of the dormer roof extension hereby permitted shall match those used on the existing building.
Reason: To ensure the external materials harmonise with the existing building in the interests of the visual amenity of the area in accordance with Policy KP5 of the Cardiff Local Development Plan 2006-2026.
6. No more than 8 occupants shall reside at this property at any one time.
Reason: For the avoidance of doubt as the permission hereby granted relates to the use of the property as a Sui Generis HMO

RECOMMENDATION 2 The applicant be advised that the property may now be licensable under Part 2 of the Housing Act 2004 and in this respect they should contact Shared Regulatory Services on 0300 123 6696 to confirm if a license is required.

RECOMMENDATION 3: That the applicant be advised that no work should take place on or over the neighbour's land without the neighbour's express consent and this planning approval gives no such rights to undertake works on land outside the applicants ownership.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application seeks planning permission to change the use of the property from a C3 residential dwelling into an 8 bedroom HMO together with the erection of a ground and first floor rear extension, a rear dormer roof extension, the installation of a rooflight to the front elevation and associated alterations. The submitted drawings/details provide information regarding the principal matters for consideration as set out in the relevant Supplementary Planning Guidance.
- 1.2 Internally the property accommodates two bedrooms, a shower room and a lounge/kitchen on the ground floor; four bedrooms and a bathroom on the first floor; and two bedrooms and a shower room on the second floor within the converted roofspace.
- 1.3 Externally a private amenity area of approximately 32 square metres will be provided to the rear of the property excluding the area shown for waste storage and cycle storage.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a two storey property located in a terrace of two storey properties within the Cathays Ward of Cardiff. The lawful use of the property is as a C3 residential dwelling.

3. **RELAVANT SITE HISTORY**

- 3.1 None.

4. **POLICY FRAMEWORK**

- 4.1 The site lies within a residential area as defined by the proposals map of the Cardiff Local Development Plan 2016.

Relevant National Planning Guidance:

Planning Policy Wales (2021)
Future Wales: The National Plan 2040 (2021)
Planning Policy Wales TAN 11: Noise
Planning Policy Wales TAN 12: Design
Planning Policy Wales TAN 15: Development and Flood Risk
Planning Policy Wales TAN 21: Waste

Relevant Cardiff Local Development Plan Policies:

Policy KP5 : Good Quality and Sustainable Design
Policy KP8: Sustainable Transport
Policy KP13 : Responding to Evidenced Social Needs
Policy EN 14 (Flood Risk)
Policy H5 : Sub-Division or Conversion of Residential Properties
Policy T1 : Walking and Cycling
Policy T5 : Managing Transport Impacts
Policy W2 : Provision for Waste Management Facilities in Development

Relevant Supplementary Planning Guidance:

Waste Collection and Storage Facilities (2016)
Houses in Multiple Occupation (2016)
Cardiff Residential Extensions and Alterations (2017)
Managing Transportation Impacts (Incorporating Parking Standards) (2018)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Waste Management have been consulted and have advised that The proposed area for the storage of waste and recycling has been noted and is acceptable as this is where the residents waste is currently stored in the front forecourt of the property and there is no change to this arrangement

The property will require the following for recycling and waste collections:

- 1 x 240 litre bin for general waste
- 2 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 240 litres)

The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Refuse storage, once implemented, must be retained for future use.

Residents will be expected to present all waste themselves to the kerbside for collection.

- 5.2 Traffic and Transportation advise that Cardiff SPG Managing Transportation Impacts (Incorporating Parking Standards) adopted in July 2018 sets the maximum number of car parking spaces that must be provided but no minimum number of car parking spaces that must be provided. No car parking is available off street which will remain unchanged. Cardiff Council are trialing zonal parking in parts of Cathays including Maindy Road Cardiff, where all on street car parking is controlled. The application site is located in parking zone C2. Residents of this proposed development if approved and implemented will not be eligible to apply for resident parking permits.

In respect of cycle parking this is proposed to be located at the rear of the property consisting of eight covered cycle parking spaces which is acceptable as it meets the minimum cycle parking requirement set out in Cardiff SPG Managing Transportation Implications (Incorporating Parking Standards) adopted in July 2018. The cycle parking will be accessible to all residents living in the proposed HMO. Cycles will be pushed through the ground floor of the property because there is no alternative side entrance adjoining the property and there is no back lane, which is acceptable at this is a change of use of an established property rather than a new build.

- 5.3 The Housing Enforcement Team of Shared Regulatory Services have advised that the layout appears sufficient for 8 occupiers and that the property will require a mandatory HMO License.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 South Wales Police have been consulted and have not commented on this planning application.

7. **REPRESENTATIONS**

- 7.1 Neighbours have been notified of the application. Objections have been received from 31 Cosmeston Street, 34 Brithdir Street, 54 Letty Street, 56, 58 Maindy Road. A summary of the objections is as follows:

The 20% threshold for HMO's in Cathays has been exceeded;

Over intensive development

That there will be material harm to the amenity of existing residents due to noise, general disturbance, waste issues, crime and anti-social behaviour;

The cumulative impact of development;

Impact on local parking provision

Work has already commenced

7.2 A petition of 51 signatories has also been submitted in respect of the proposal. The objection is summarised as follows:

Work has already started;

Parking issues associated with the development;

Noise issues associated with the development;

Anti social behaviour associated with the development.

7.3 Councillors Merry, Weaver and Mackie also object to the proposal for the following reasons:

I am writing on behalf of myself, Cllr Mackie and Cllr Weaver to object to this application on the following grounds:

1. *The use of the property as a House in Multiple Occupation will further exacerbate the unacceptable cumulative adverse impacts on the amenities of the area by virtue of:*
 - *a higher number of transient residents leading towards less community cohesion and undermining the objectives of securing a sustainable mixed use community, contrary to Policy KP5, KP13 and H5 of the Cardiff Local Development Plan (2006-2016) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).*
 - *a higher portion of transient residents leading to an increase of cumulative demand on social, community and physical infrastructure, contrary to Policy KP5, KP13 and H5 of the Cardiff Local Development Plan (2006-2026) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).*
2. *The use of the property as a House in Multiple Occupation will further exacerbate the negative impacts caused by Houses in Multiple Occupation in respect of crime and anti-social behaviour, contrary to Policy H5 (Sub-Division or Conversion of Residential Properties) of the Cardiff Local Development Plan (2006-2016) and the Houses in Multiple Occupation Supplementary Planning Guidance (2016).*
3. *The use of the property as a HMO will result in an increase in the number of HMO's within the vicinity to the detriment of the existing community affecting its composition, cohesion, character, functionality and its sense of place contrary to Policy H5 of the Cardiff Local Development Plan (2006-2026), the Houses in*

Multiple Occupation Supplementary Planning Guidance (2016) and advice contained within Planning Policy Wales 11th Edition 2021.

4. *We would also argue that the policy goes against Policy H5 of the LDP in terms of the aspiration for good design and high standard of accommodation. The design may or may not meet minimum size standards, due to the shape of some of the rooms that is difficult to calculate, but it sub-divides bays and gives way to awkward room shapes. The overall design is simply not of the high design we would expect.*
5. *The two storey extension is overbearing and an unneighbourly form of development that will have a negative impact on the amenity of neighbouring properties.*

The council carried out a public consultation and provided an evidence base for its supplementary guidance and we believe the council should uphold its own guidance which this development clearly breaches. Maindy Road has also historically been a much more residential street due to the design of the houses. Cathays needs a mix of house use and a further HMO in this street will undermine this. You can see the strength of local feeling by the number of objections received to date.

8. **ANALYSIS**

8.1 This application seeks planning permission to convert the property from a C3 residential dwelling into an 8 bedroom HMO. In order to facilitate the change of use a ground floor and first floor rear extension and a dormer roof extension are proposed. As the proposal seeks tenanted living accommodation occupied by up to eight people, who are not related and who share one or more basic amenities as their only or main residence, the main issue for this application is the impact the change of use will have on the character of the area, the community and the living conditions of future occupiers of the property together with the impact of the extensions and dormer roof extension.

8.2 **Policy Considerations** - In respect of the conversion of the property to a C4 HMO Policy H5 of the adopted LDP is considered relevant. Further guidance can also be found in the adopted HMO SPG.

8.3 Policy H5 of the LDP is considered to be a prescriptive policy whereby as long as the relevant criteria is met there is unlikely to be any objection to such proposals. It advises that:

“Proposals for any conversion to flats or Houses in Multiple Occupation will be permitted where:

- i. The property is of a size whereby the layout, room sizes, range of facilities and external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.*
- ii. There would be no material harm to the amenity of existing, nearby residents by virtue of general disturbance, noise or overlooking.*
- iii. The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area.*

iv. Does not have an adverse effect on local parking provision.”

8.4 The approved Supplementary Planning Guidance on HMO's further expands on this Policy and aims to provide background information on, and provide a rationale for how the Council will assess applications for planning permission to create new C4 and Sui Generis HMOs. It aims to identify the threshold at which it is deemed that the concentration of HMOs in an area has reached a level considered to adversely impact upon the community. It is recognised that HMOs can provide an important source of housing and it is recognised that demographic change has driven many of the changes that have seen traditional family homes become HMOs. HMOs are a popular accommodation source for many groups, including students, young professionals, migrant workers and often people on lower incomes.

However, concentrations of HMOs clustered in small geographical areas can detract from the character of the area and actively contribute towards a number of perceived problems, including, but not limited to:

- Increased population density, leading to greater demand for infrastructure, such as waste collections and on-street parking.
- Higher proportion of transient residents, potentially leading to less community cohesion, undermining existing community facilities
- Areas of higher HMO concentrations becoming less popular with local residents, with many properties taken out of the owner-occupier market.
- A proliferation of properties vacant at certain points of the year
- Subsequent impact on crime, local centre viability, as a result of the number of properties temporarily vacant for long periods.

It is considered that this may conflict with policy KP13 of the LDP which aims to improve the quality of life for all.

Having identified some of the issues caused by HMOs the Council considered it was necessary to determine a threshold at which new HMOs may cause harm to a local area. This threshold will resist further HMOs in communities that already have a concentration above this limit, while also controlling the growth of HMOs in communities below this threshold. A two-tier threshold will therefore be applied to determine when an area has reached the point at which further HMOs would cause harm. In Cathays and Plasnewydd the figure of 20% is to be applied and in all other wards, the figure of 10% is to be applied.

This means that within Cathays or Plasnewydd, if more than 20% of the dwellings within a 50m radius of the proposed HMO are already established HMOs (i.e. either C4 or sui generis in Planning terms) then this development would be considered unacceptable. In other wards the figure would be 10%. This is justified because Cathays and Plasnewydd are home to a vastly greater number of HMO's than other parts of the city and are designated as Additional Licensing Areas.

When considering the level of concentration, a definition of 50m from the property in question will be used. Within this 50m radius all dwellinghouses that have their main street facing entrance within the radius will be included. It is considered that 50m is

deemed an appropriate extent to reflect an area that lies within a sphere of influence of a property, such as being affected in terms of amenity or disruption. It is also an appropriate distance in densely populated inner wards and will ensure that many properties are taken into account.

When calculating the number of HMOs within the 50m radius, it is important to refer to and respect the location of existing HMOs. This will be determined by using data at the Councils disposal such as planning applications, licensed HMO data, Council Tax data or electoral roll information. This will help identify the areas where the concentration is such that the Council will seek to prevent additional HMOs.

Having regard to the “cumulative impact” of such conversions in respect of this application an analysis has been made on the extent of HMO’s (including those defined as such under Sections 254 259 of the Housing Act 2004) against the threshold limits identified above. As the application site is located within the Cathays Ward of Cardiff a 20% threshold limit will be relevant. There are 28 properties within a 50m radius of the application site. Of these 19 are registered as HMO’s which equates to 68%. The threshold for Cathays is 20% therefore the proposal is above the threshold contained within the SPG on HMO’s.

However, the Council has also lost a significant amount of appeals against the conversion of properties into HMO’s with costs being awarded on 9 occasions on the basis that the Council’s decision was unreasonable. The Council must therefore give due consideration to the significant number of appeal decisions in respect of the matter. Failure to do so would be improper and may ultimately result in increasing cases of the award of costs against the Council where appeals are allowed.

In light of recent appeal decisions which form a material planning consideration the Council will only resist applications on cumulative impact where the percentage of HMO’s falls within 10% or 20% if in Cathays and Plasnewydd and 65%. Above 65% it is felt that the character of the area will not be undermined. As this identifies that 68% of properties are registered as HMO’s then there is no objection to the proposal and notwithstanding the guidance set out in the HMO SPG a refusal on Policy grounds cannot be justified.

- 8.5 **Room Sizes** – The Cardiff HMO Licensing Fire & Safety Standards (updated in 2014) sets standards in terms of amenity, space standards and facilities which must be adhered to in order to obtain a License from the Council. From a planning perspective, paragraph 6.1.1 of the adopted HMO SPG identifies that this would be the minimum that would be expected to be achieved for all applications for both C4 HMO’s and larger sui generis HMO’s. Having had regard to this criteria the submitted plans indicate that these standards would be met.
- 8.7 **Waste** – Policy W2 of the Cardiff Local Development Plan seeks to ensure that adequate provision is made for waste management facilities within new developments, in order to aid the Council in meeting the challenging waste recycling targets set by European and National targets. Facilities provided should be secure, unobtrusive and easily assessable.

The adopted Waste Collection and Storage Facilities SPG supplements policies adopted in the LDP relating to the provision of waste management facilities in new development. Paragraph 4.12 of the approved SPG on Waste Collection and Storage Facilities advises that for HMO's the recommended bin allocation for between 6 & 8 residents is as follows :-

1 x 240L bin for general waste
1 x 240L bin for garden waste (if required)
1 x 25L bins for food waste
Green bags for recycling.

Details of waste provision have been submitted as part of this application. Waste Management have confirmed that the submitted details are acceptable and condition 4 has been imposed accordingly.

8.8 Transportation – Policy KP8 of the LDP seeks to reduce travel demand and dependence on the car. It identifies that to accommodate the planned growth levels predicted for the city, existing and future residents will need to be far less reliant on the private car and seeks to ensure that more everyday journeys are undertaken by sustainable modes of transport. Policy T5 of the LDP also identifies that all new development for which planning permission is required will contribute to reducing reliance on the private car, in line with national planning policies and the strategic transport objectives of the LDP.

The creation of a HMO in this sustainable location is considered to fundamentally accord with the principles of sustainable design, locating places to live within walking distance of local amenities, public transport links and places of work. It would therefore intrinsically accord with the principles of sustainable transport and the promotion of a 50/50 modal split, as promoted by Policy KP8, as occupiers would not be reliant upon the private car as a mode of transport. The creation of bicycle parking spaces for occupiers of dwellings is considered an essential element in promoting sustainability and achieving the modal split. The Managing Transport Impacts (Incorporating Parking Standards) (2018) SPG identifies that a HMO will require a minimum of 1 cycle parking spaces per bedroom. As the proposal is for an 8 bedroom HMO then 8 cycle parking spaces will be required.

In respect of cycle parking the applicant has submitted details showing the provision of 8 undercover and secure cycle parking spaces within a bespoke cycle store to be erected within the rear garden. This is considered acceptable and accords with advice contained within the SPG and condition 3 has been imposed accordingly.

In respect of car parking the Managing Transport Impacts (Incorporating Parking Standards) (2018) SPG identifies that a 6 bedroom HMO will require between zero and one off street car parking space to be policy compliant. The application does not propose any off street car parking spaces which is in accordance with the aims and objectives of both the LDP and SPG in seeking to reduce dependence on the private motor vehicle. Whilst it is noted that there are objections in respect of insufficient parking facilities proposed there is no requirement for any car parking spaces to be

provided.

- 8.9 **Amenity Space** – Criterion i) of Policy H5 of the LDP advises that planning permission will be granted where *“The property is of a size whereby the ...external amenity space of the resulting property would ensure an adequate standard of residential amenity for future occupiers.”* This is further reinforced by the HMO SPG which advises that amenity space is important in retaining a quality of life for people living within the dwelling. Paragraph 6.3.2 of the SPG states *“The City of Cardiff Council has typically used the figure of 25m² as the minimum expected external useable amenity space for C3 dwellings, i.e. for those dwellings up to 6 persons. This level should also apply to C4 properties. Each additional person would be expected to have 2.5m². As such, for example, the minimum expected for a 7 bed HMO would be 27.5m² of external amenity space. Each additional person should result in a corresponding increase of 2.5m². Useable amenity space is considered to be at least 1.4m wide, enabling storage and access.”*

In respect of amenity space as the application seeks permission for to change the use of the property to an 8 person HMO then 30 square metres will be required. Having undertaken an assessment of the property a private rear amenity space of approximately 32 square metres will be available for occupiers to use in addition to provision for bin and cycle storage facilities. As the minimum amenity space requirement as specified in the HMO SPG will be 30 square metres the proposal is therefore considered acceptable when considered against the HMO SPG.

- 8.10 **External Alterations** – The installation of a rooflight to the front elevation is considered acceptable. It should also be noted that the installation of rooflights to this property could presently be undertaken utilising existing Permitted Development rights.
- 8.11 **Ground Floor Rear Extension** - In respect of the ground floor rear extension this is considered acceptable in regards to its scale and design and will provide a subservient addition to the dwelling which would not prejudice the general character of the area or the existing dwellinghouse. The scale of the proposal and its relationship with neighbouring properties is considered acceptable. It will be finished in materials to match the existing dwelling and it is considered that the proposal would not be overbearing or generally un-neighbourly which would justify concern. There are also other similar extension of this size within the vicinity.
- 8.12 **First Floor Rear Extension** – In respect of the first floor rear extension this will project 3.5m from the rear of the property. It will be on the boundary with 78 Maindy Road and approximately 2.4m from the boundary with 74 Maindy Road. In respect to the impact upon 78 Maindy Road it should be noted that the window closest to the extension is not considered to be a habitable room as it serves a bathroom and is obscurely glazed.

Paragraphs 7.28 - 7.40 take into consideration the 25 and 45 degree rules. These relate to the assessment of sunlight and daylight based on the BRE guidance in Site Planning for Daylight and Sunlight - a guide to good practice. The SPG advises that developments which do not meet these standards will be resisted without further justification or other reasonable measures being in place to provide adequate light. The standards apply equally to impacts on both new and existing buildings, and should be

assessed accordingly. The standards will not apply to affects resulting from the height of minor gables. Where the standards are not being met, ways to improve the situation to the required standard will be sought.

In respect of the 25 degree rule this relates to windows facing other buildings or relevant structures. A significant building or structure will be obstructing reasonable light to a relevant window if it breaks a line projecting up from the centre of the relevant window 25 degrees from the horizontal. If obstruction occurs, applicants will be required to provide proof that windows will not be adversely affected by this structure by quantifying the daylight using the Skylight Indicator or Waldram assessments set out in the BRE publication. The measure of daylight reaching a window should not fall below 27%. Software applications exist to help with such an assessment. Having undertaken an assessment of the extension as built the 25 degree rules is not breached.

With respect to the 45 degree rule this second assessment relates to any extensions from an existing building line, and windows affected by this extension. Whilst it is noted that the extension will breach exceed the limit horizontally from within the first floor bedroom of 78 Maindy Road it will not exceed the limit when measured vertically. For the rule to be breached by the extension both the horizontal line and the vertical line are required to be breached. As only the horizontal line is breached then the 45 degree rule is not breached.

It is therefore considered that the scale and design of the first floor rear extension would not be overbearing or generally un-neighbourly which and is therefore considered acceptable.

8.13 Dormer Roof Extension and Rooflight - In respect of the dormer roof extension this will be set up the roof slope and is to be finished in materials to match the existing roof covering in accordance with advice contained within the Residential Extensions and Alterations SPG and raises no concerns. The rooflight to the front elevation is considered acceptable. It should also be noted that a dormer roof extension of this size could also be erected utilising existing Permitted Development rights.

8.14 Objections

In respect of the objections the following should be noted:

- The 20% threshold for HMO's in Cathays has been exceeded – This is covered in paragraphs 8.2-8.4 of this report;
- Over intensive development - This is covered in paragraphs 8.2 - 8.4 and 9 - 9.3 of this report;
- That there will be material harm to the amenity of existing residents due to noise, general disturbance, waste issues, crime and anti-social behaviour - This would be a matter for Shared Regulatory Services if a statutory nuisance has occurred, the police or Waste Management;
- The cumulative impact of development - This is covered in paragraphs 8.2-8.4 of this report;
- Impact on local parking provision – This is covered in paragraph 8.8 of this report;

- Work has already commenced – This is not a reason to refuse planning permission. The owner has been advised that until such time as planning permission has been granted all further works that require the benefit of planning permission would be undertaken at their own risk. The lawful use of the property is presently a C3 Residential dwelling and as such the owner enjoys certain rights to refurbish/extend the property without the need for planning permission.

9. OTHER CONSIDERATIONS

- 9.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 9.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.
- 9.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

10. RECOMMENDATION

- 10.1 The Council is mindful of the current climate with respect to the amount of HMO’s within the City and that there are concerns that a proliferation of such uses can undermine the character of an area to the detriment of local residents.

In respect of this application the Council is satisfied that the proposal complies with Policy H5 of the Cardiff Local Development Plan 2026-2026 and advice contained within the HMO’s Supplementary Planning Guidance as mentioned previously in this report.

Having taken all of the relevant factors into consideration there are no grounds to justify a refusal of this application and it is therefore recommended that planning permission be granted, subject to conditions.

11. **ALTERNATIVE RECOMMENDATION**

11.1 This application was considered at 6th July 2022 Planning Committee where it was resolved to defer the application to the next meeting of Planning Committee for reasons for refusal. If members remain minded to refuse the application the following reasons are suggested :

1. The use of the property as an 8 bedroom House in Multiple Occupation has the potential to further exacerbate the unacceptable cumulative adverse impacts on the amenities of the area by virtue of:
 - a higher number of transient residents leading towards less community cohesion and undermining the objectives of securing a sustainable mixed use community, contrary to Policy KP5, Policy KP13 and Policy H5 of the Cardiff Local Development Plan (2006-2016) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).
 - a higher portion of transient residents leading to an increase of cumulative demand on social, community and physical infrastructure, contrary to Policy KP5, Policy KP13 and Policy H5 of the Cardiff Local Development Plan (2006-2026) and advice contained within the Houses in Multiple Occupation Supplementary Planning Guidance (2016).
2. The use of the property as an 8 bedroom House in Multiple Occupation has the potential to further exacerbate the negative impacts caused by Houses in Multiple Occupation in respect of crime and anti-social behaviour, contrary to Policy KP5, Policy KP13 and Policy H5 of the Cardiff Local Development Plan (2006-2016) and the Houses in Multiple Occupation Supplementary Planning Guidance (2016).
3. The use of the property as an 8 bedroom HMO will result in an increase in the number of HMO's within the vicinity to the detriment of the existing community affecting its composition, cohesion, character, functionality and its sense of place contrary to Policy KP5, Policy KP13 and Policy H5 of the Cardiff Local Development Plan (2006-2026) and the Houses in Multiple Occupation Supplementary Planning Guidance (2016).

CARDIFF
CAERDYDD

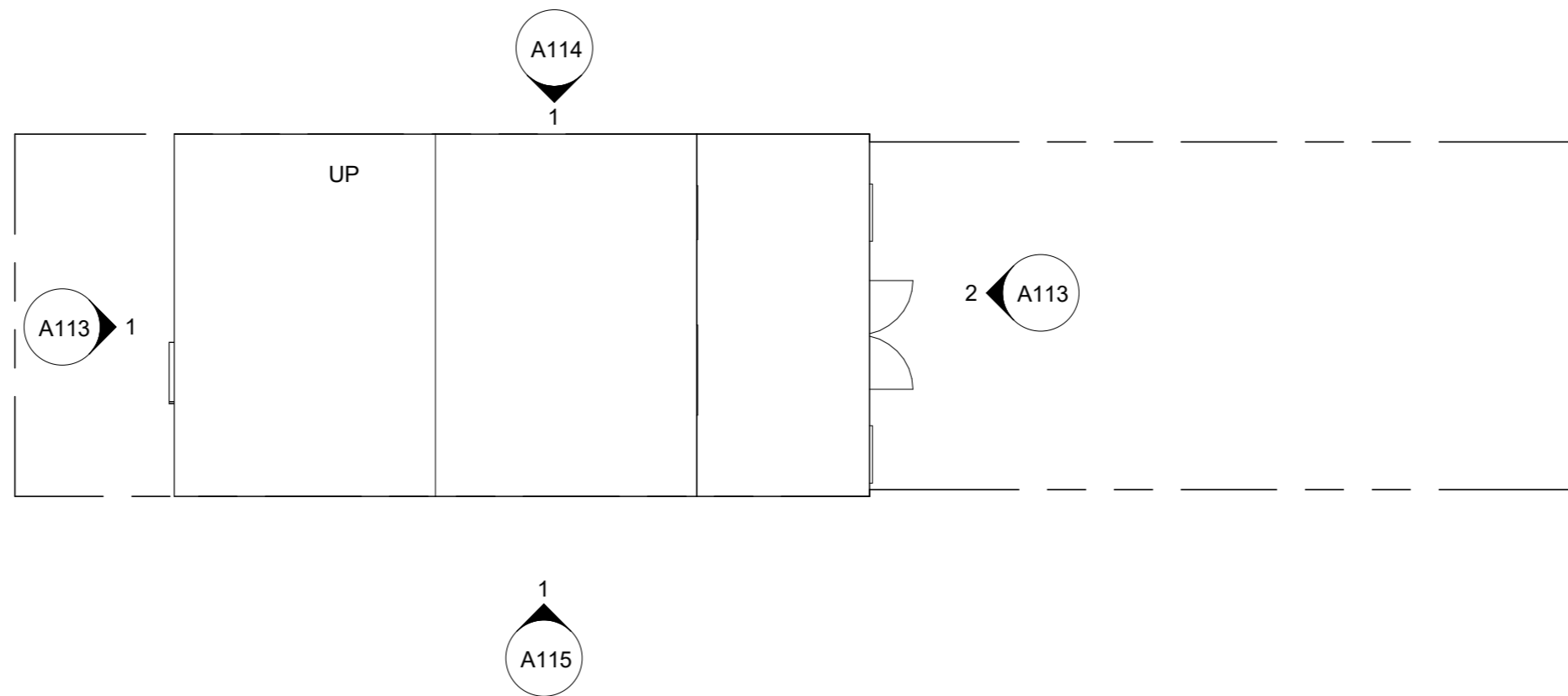


Public
Shop



ST 177 NE
ST 187 NW





1 Site - Existing
1 : 100

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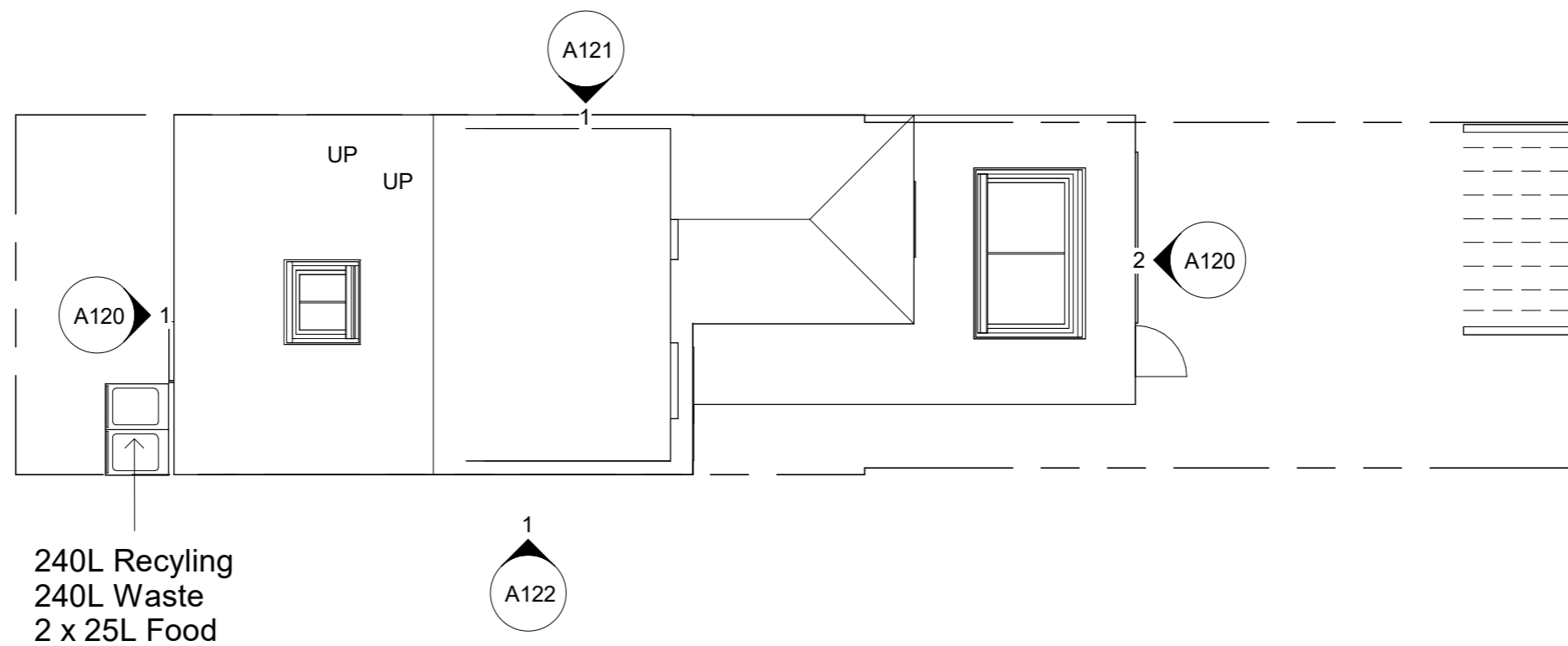
Mark Cooney

Site Plan As Existing

Project number	JP76
Date	15.04.22
Drawn by	John Pinn
Checked by	N/A

A110

Scale 1 : 100



1 Site - Proposed
1 : 100

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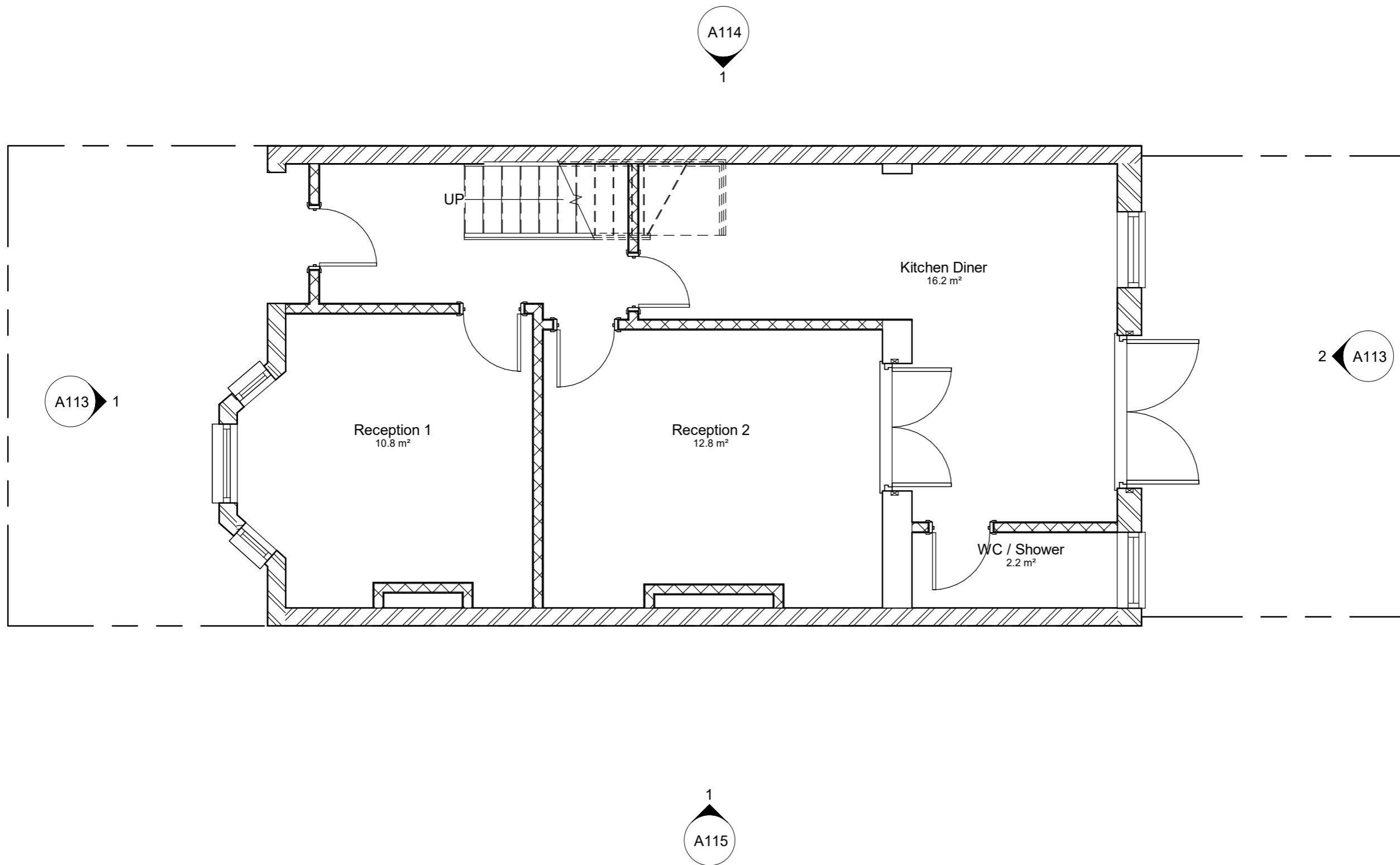
Mark Cooney

Site Plan As Proposed

Project number	JP76
Date	15.04.22
Drawn by	John Pinn
Checked by	N/A

A116

Scale 1 : 100



1 00 - Ground Floor Existing
1 : 50

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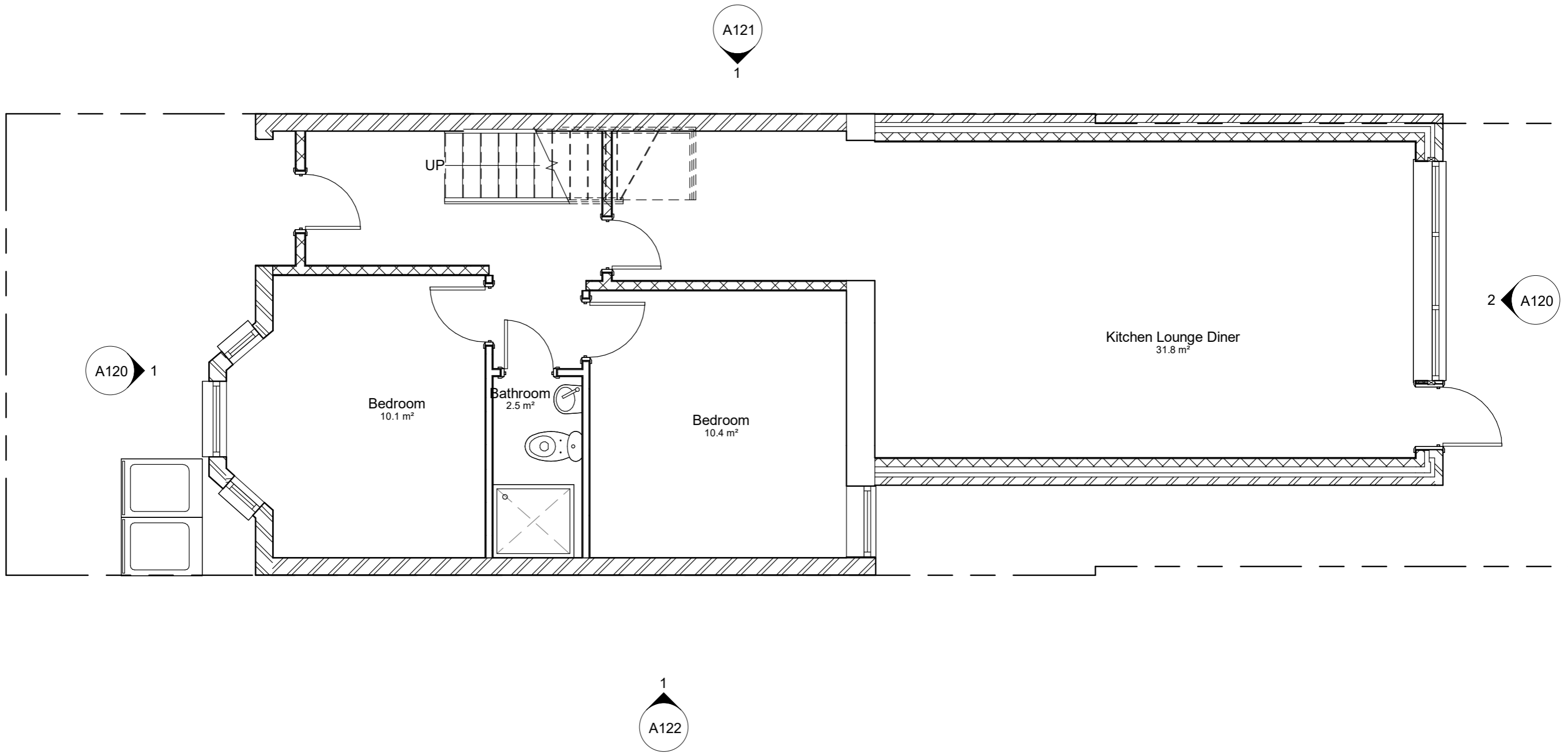
Mark Cooney

Ground Floor As Existing

Project number	JP76
Date	15.04.22
Drawn by	John Pinn
Checked by	N/A

A111

Scale 1 : 50



1 00 - Ground Floor Proposed
1 : 50

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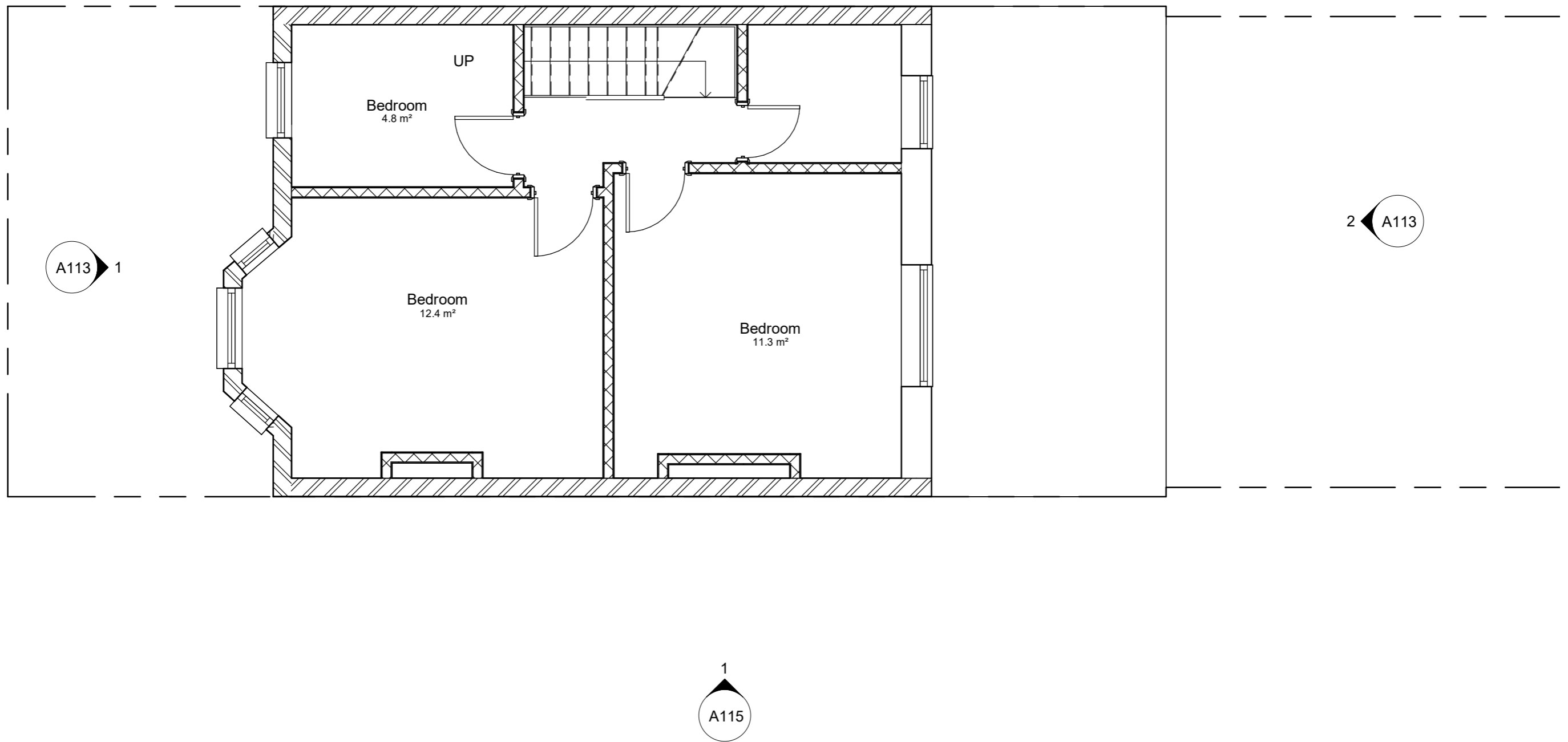
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Ground Floor As Proposed		A117
Project number	JP76	
Date	15.04.22	
Drawn by	John Pinn	
Checked by	N/A	Scale 1 : 50



1 01 - First Floor Existing
1 : 50

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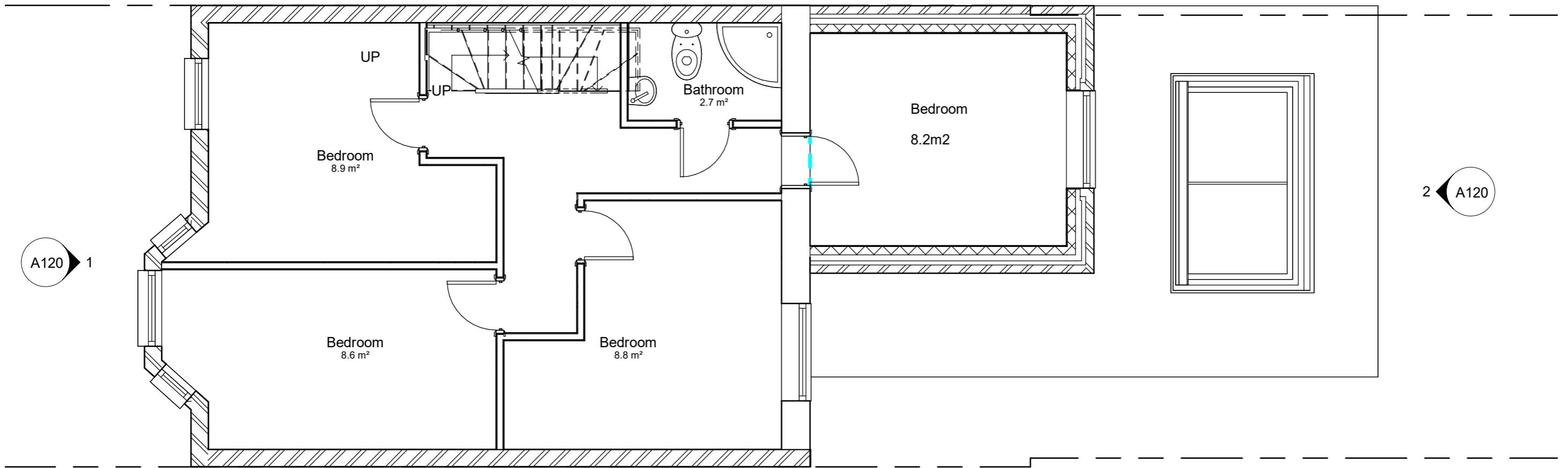
Mark Cooney

First Floor As Existing

Project number	JP76
Date	15.04.22
Drawn by	Author
Checked by	Checker

A112

Scale 1 : 50



1 01 - First Floor Proposed
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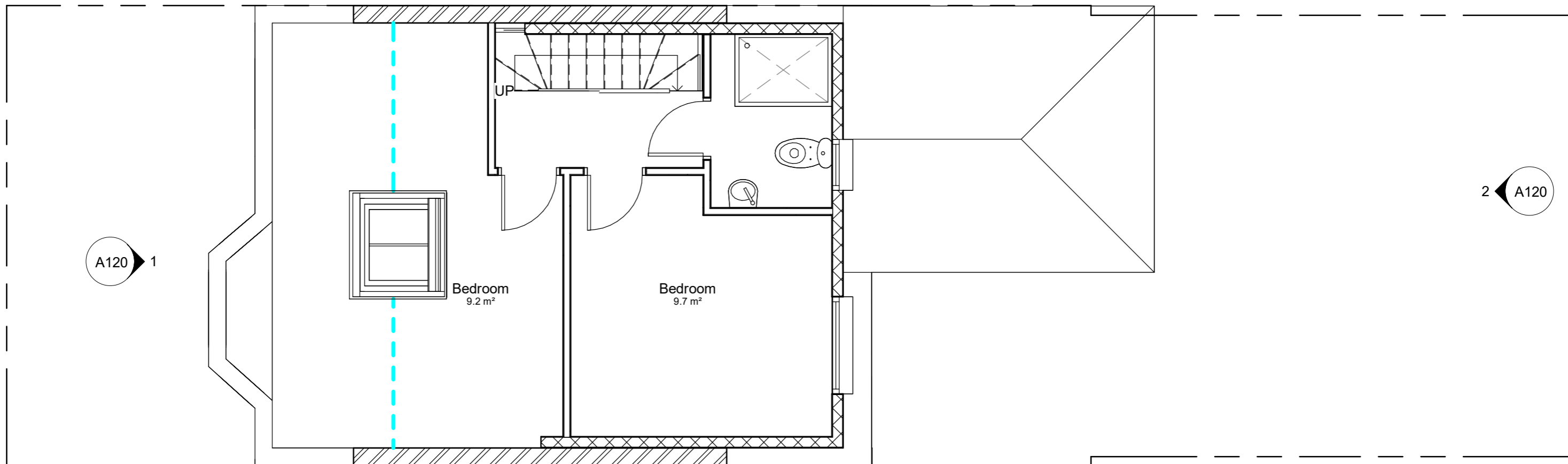
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First Floor As Proposed		A118
Project number	JP76	
Date	15.04.22	
Drawn by	John Pinn	
Checked by	N/A	Scale 1 : 50



1

02 - Second Floor Proposed

1 : 50

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Second Floor As Proposed

Project number	JP76
Date	15.04.22
Drawn by	Author
Checked by	Checker

A119

Scale 1 : 50

- Legend**
- 1. Render
 - 2. Pitched slate roof
 - 3. White uPvc doors & windows



1 Front Elevation Existing
1 : 50

2 Rear Elevation Existing
1 : 50

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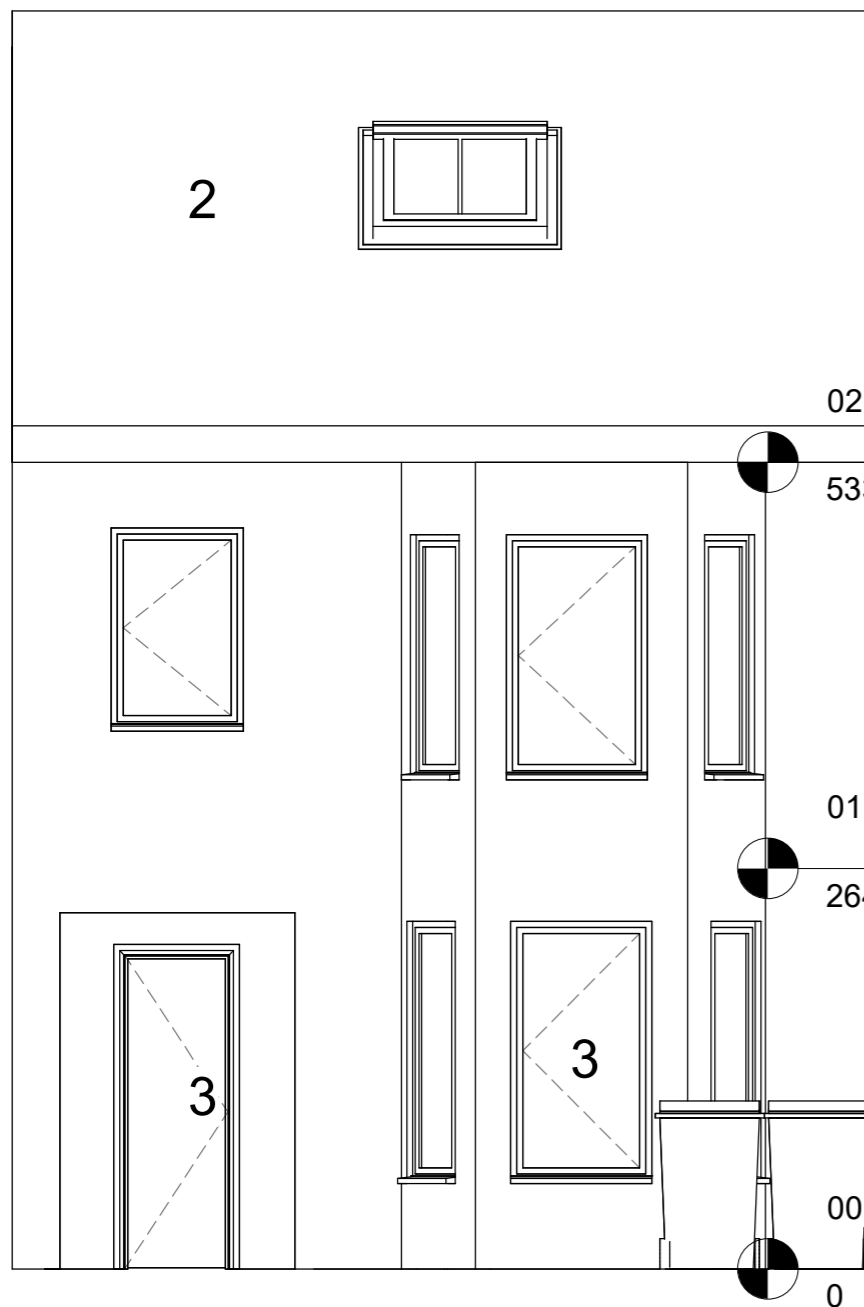
Elevations As Existing

Project number	JP76
Date	15.04.22
Drawn by	John Pinn
Checked by	N/A

A113

Scale 1 : 50

- Legend**
- 1. Render
 - 2. Pitched slate roof
 - 3. White uPvc doors & windows
 - 4. New sand & cement render to match existing
 - 5. Skylight
 - 6. Hanging slate
 - 7. Single ply flat roof with fascia



02 - Second Floor Existing

5333

01 - First Floor Existing

2648

00 - Ground Floor Existing

0

02 - Second Floor Existing

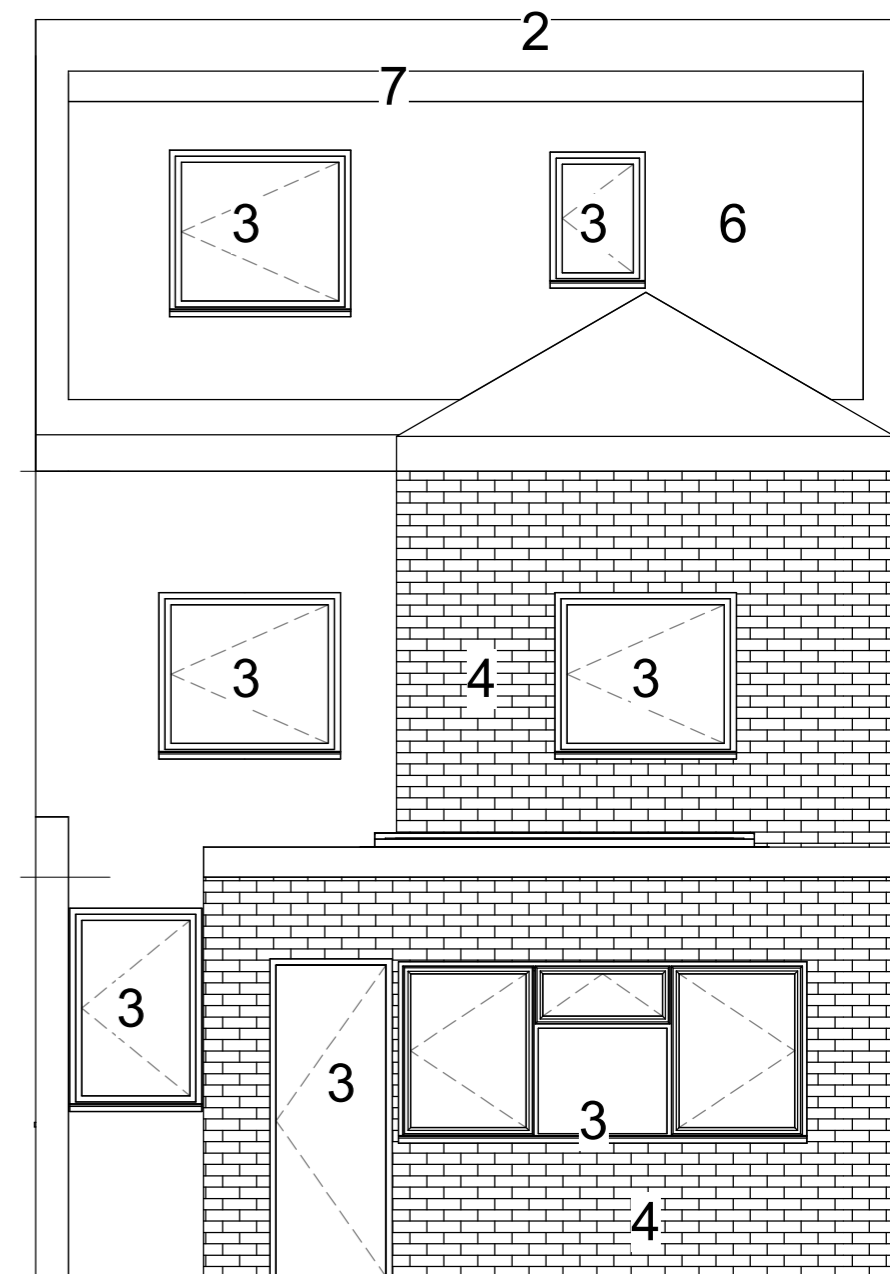
5333

01 - First Floor Existing

2648

00 - Ground Floor Existing

0



1 Front Elevation Proposed

1 : 50

2 Rear Elevation Proposed

1 : 50

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Elevations As Proposed

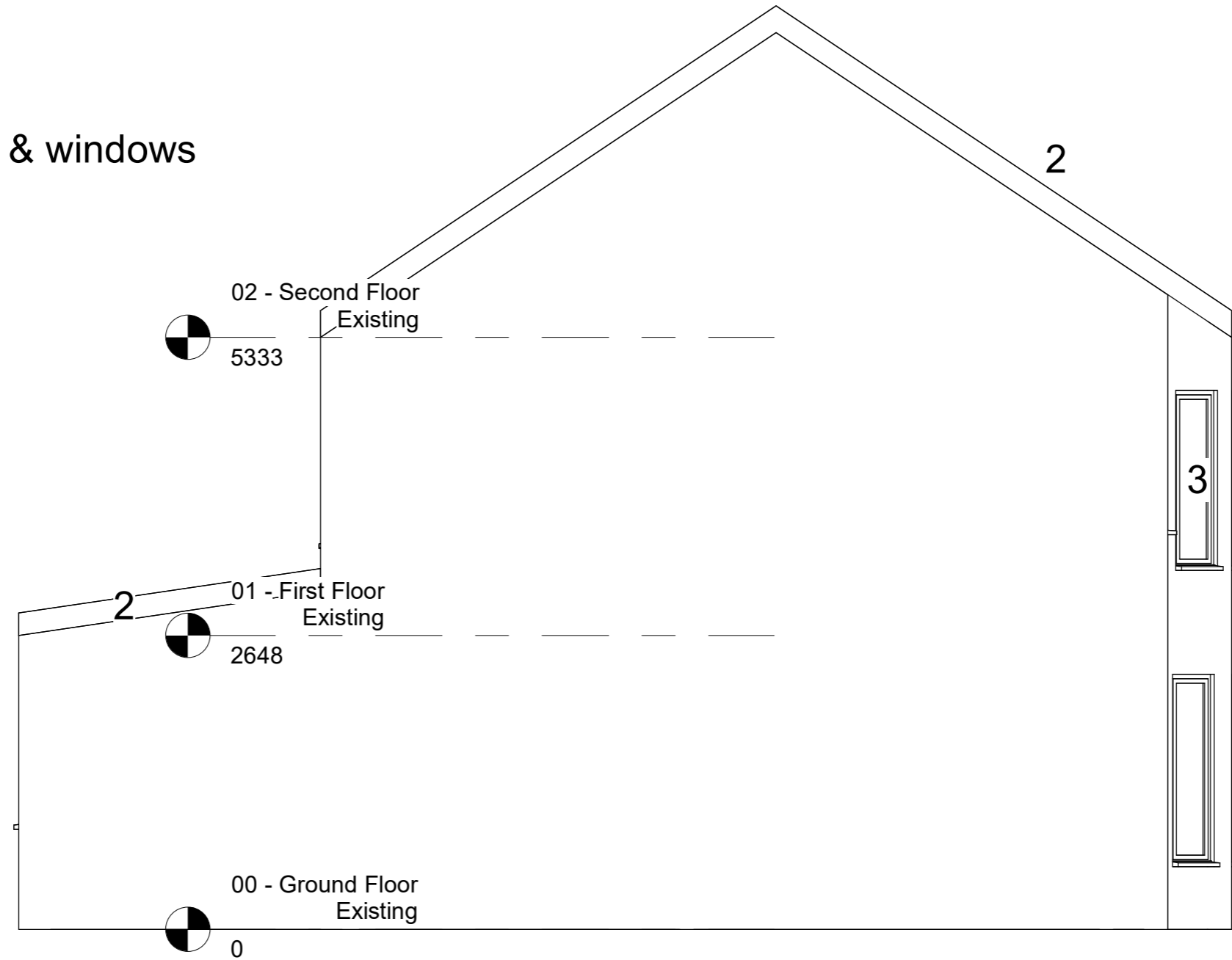
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Date	15.04.22
Drawn by	John Pinn
Checked by	N/A

A120

Scale 1 : 50

Legend

- 1. Render
- 2. Pitched slate roof
- 3. White uPvc doors & windows



1 Left Elevation Existing
1 : 50

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Elevation As Existing

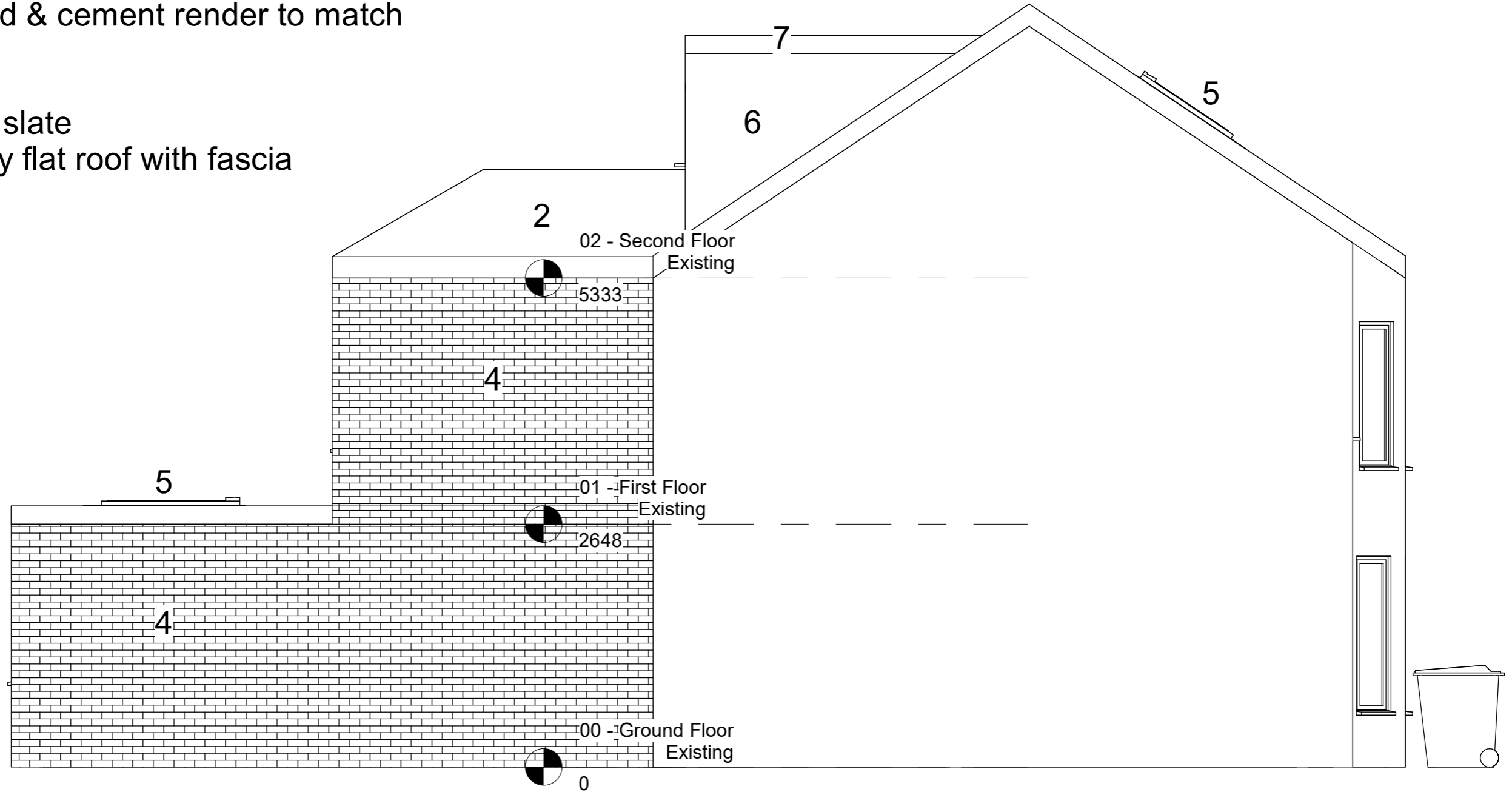
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Date	15.04.22
Drawn by	Author
Checked by	Checker

A114

Scale 1 : 50

Legend

- 1. Render
- 2. Pitched slate roof
- 3. White uPvc doors & windows
- 4. New sand & cement render to match existing
- 5. Skylight
- 6. Hanging slate
- 7. Single ply flat roof with fascia



1 Left Elevation Proposed
1 : 50

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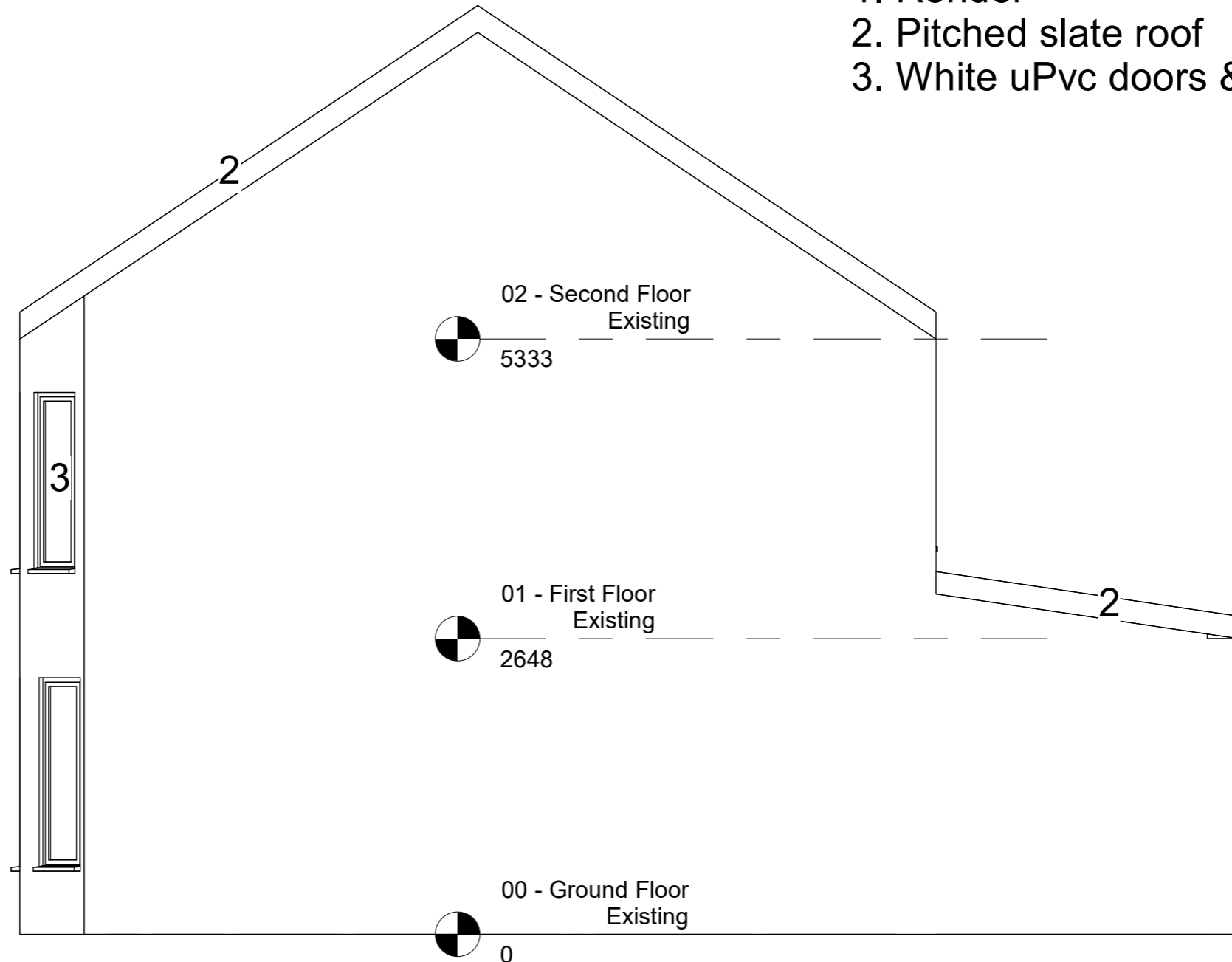
Elevation As Proposed

Project number	JP76
Date	15.04.22
Drawn by	John Pinn
Checked by	N/A

A121

Scale 1 : 50

- Legend
- 1. Render
 - 2. Pitched slate roof
 - 3. White uPvc doors & windows



1 Right Elevation Existing
1 : 50

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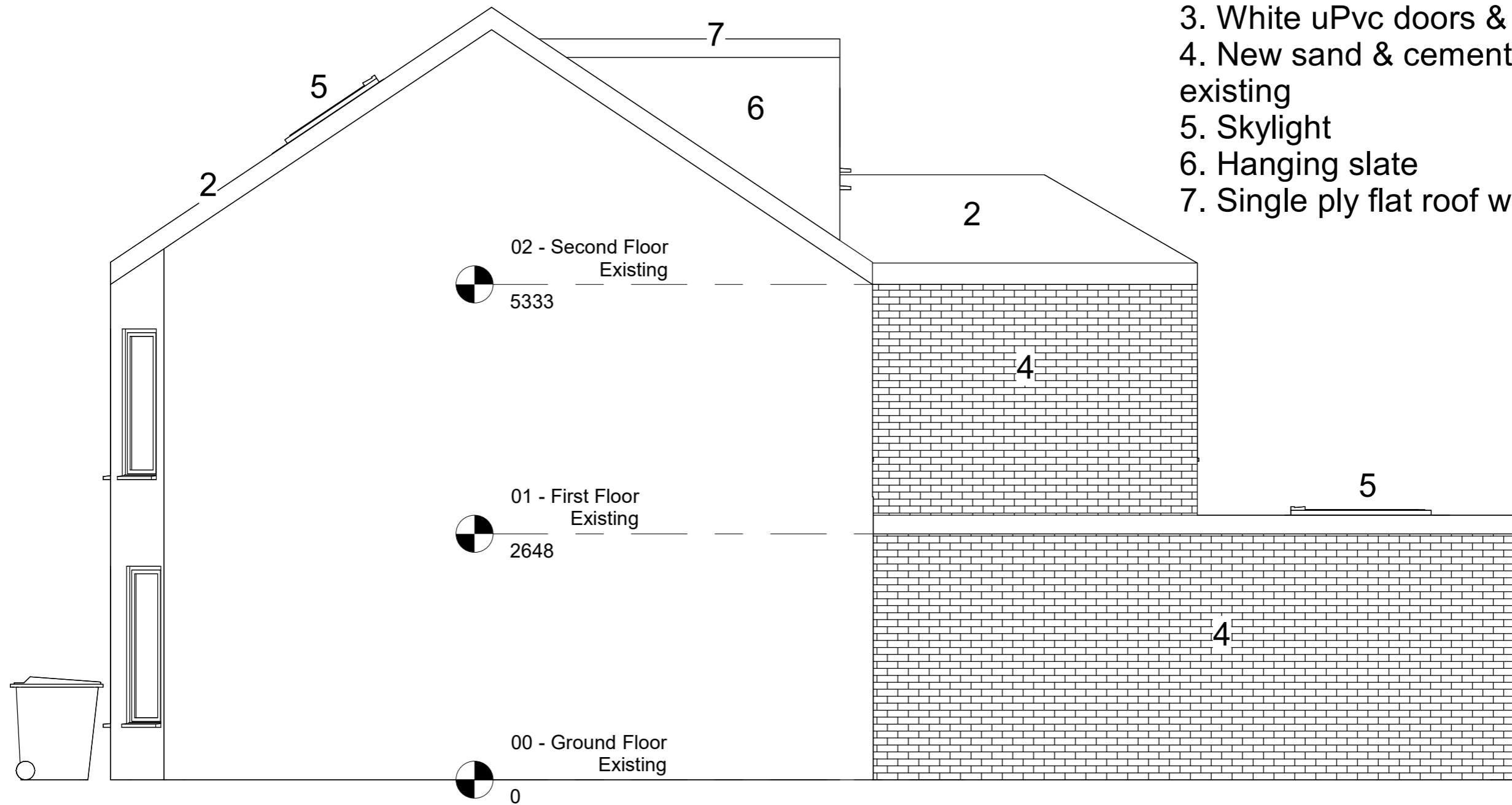
Mark Cooney

Elevation As Existing

Project number	JP76	A115
Date	15.04.22	
Drawn by	John Pinn	
Checked by	Checker	Scale 1 : 50

Legend

- 1. Render
- 2. Pitched slate roof
- 3. White uPvc doors & windows
- 4. New sand & cement render to match existing
- 5. Skylight
- 6. Hanging slate
- 7. Single ply flat roof with fascia



1 Right Elevation Proposed
1 : 50

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Elevation As Proposed

Project number	JP76
Date	15.04.22
Drawn by	John Pinn
Checked by	N/A

A122

Scale 1 : 50

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PETITION

COMMITTEE DATE: 15/08/2022

APPLICATION No. **18/00736/MNR** APPLICATION DATE: 05/04/2018

ED: **WHITCHURCH/TONGWYNLAIS**

APP: TYPE: Full Planning Permission

APPLICANT: Dr ANDREWS

LOCATION: 71 CHURCH ROAD, WHITCHURCH, CARDIFF, CF14 2DY

PROPOSAL: PROPOSED DEMOLITION OF EXISTING GARAGE /
OUTBUILDING CONSTRUCTION OF NEW 2 STOREY
DETACHED DWELLING, DETACHED REPLACEMENT
GARAGE WITH STUDIO ABOVE AND GLAZED LINK TO
EXISTING DWELLING

RECOMMENDATION 1 : That planning permission be **GRANTED** subject to the following conditions :

1. C01 Statutory Time Limit
2. The development hereby permitted shall be carried out in accordance with the following approved plans and documents:
 - AL (01) 02 Rev C Proposed Plans and Elevations
 - AL (01) 03 Rev A Proposed Plans and Elevations (Garage Studio)
 - AL (90) 01 Site Plan
 - AL (00)01 L Vision Splay
 - AL (01) 04 Rev D Boundary Wall Details
 - 2956-003 A Pier Sections
 - AL (01) 07 B Proposed Context Plan
 - 2956-002 D Landscape Scheme

Reason: To ensure satisfactory completion of the development and in line with the aims of Planning Policy Wales to promote an efficient and effective planning system.

3. Prior to the construction of the dwelling and garage/studio above foundation level, samples of the external finishing materials shall be submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: To ensure that the finished appearance of the development is in keeping with the area in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

4. Notwithstanding the submitted information, full details of the means of site enclosure shall be submitted to and approved by the Local Planning Authority. The means of site enclosure shall be constructed in accordance with the approved details prior to the development being put into beneficial use.

Reason: In the interests of visual and residential amenity, in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

5. No development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837:

- An Arboricultural Method Statement (AMS) detailing the methods to be used to prevent loss of or damage to retained trees within and bounding the site, and existing structural planting or areas designated for new structural planting.

The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with. Provision shall be made for a site logistics plan to be incorporated within the AMS to ensure that trees within and adjoining the site are not damaged by deliveries and vehicles moving to and from the site. Provision shall be made for a site specific method statement for the construction of the wall and pillar, including full details of the construction methodology and foundations to demonstrate that unacceptable harm will not result to trees of amenity value.

- A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and landscaping protection methods detailed in the AMS that can be shown graphically.

Unless written consent is obtained from the LPA, the development shall be carried out in full conformity with the approved AMS and TPP.

Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

6. Any pruning necessary to implement the planning permission shall be undertaken in accordance with British Standard 3998: 2010 'Tree Work' or any Standard that replaces it.

Reason: The trees are of value in the local environment and should be

protected and maintained in good condition in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

7. Notwithstanding the submitted landscaping details, no development shall take place until full, finalised details of soft landscaping have been submitted to and approved in writing by the Local Planning Authority. These details shall include:

- A soft landscaping implementation programme.
- Finalised, scaled planting plans prepared by a qualified landscape architect and that are consistent with other plans submitted as part of the application but that make provision for a new tree within existing soft landscaping to the south of the proposed access. This tree shall be specified to be planted at a smaller size than other trees to ensure that no extensive pit excavation is required within the Root Protection Area of retained trees – for example, light standard rather than Extra Heavy Standard.
- Evidence to demonstrate that existing and proposed services, lighting, CCTV, drainage and visibility splays will not conflict with proposed planting.
- Schedules of plant species, sizes, numbers and densities prepared by a qualified landscape architect.
- Scaled tree pit sectional and plan drawings prepared by a qualified landscape architect that show the Root Available Soil Volume (RASV) for each tree.
- Topsoil and subsoil specification for all planting types, including full details of soil assessment in accordance with the Cardiff Council Soils and Development Technical Guidance Note, soil protection, soil stripping, soil storage, soil handling, soil amelioration, soil remediation and soil placement to ensure it is fit for purpose. Where imported planting soils are proposed, full specification details shall be provided including the parameters for all imported planting soils, a soil scientists interpretive report demonstrating that the planting soil not only meets British Standards, but is suitable for the specific landscape type(s) proposed. The specification shall be supported by a methodology for storage, handling, amelioration and placement.
- Planting methodology and post-planting aftercare methodology prepared by a qualified landscape architect, including full details of how the landscape architect will oversee landscaping implementation and report to the LPA to confirm compliance with the approved plans and specifications, including the stripping of soil, storage of soil, preparation of subsoil and placement of topsoil.

The submitted details shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved design and implementation programme.

Reason: To enable the Local Planning Authority to determine that the

proposals will maintain and improve the amenity and environmental value of the area, and to monitor compliance in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

8. Any newly planted trees, shrubs, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced.

Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition 7, unless the Local Planning Authority gives written consent to any variation.

Reason: To maintain and improve the amenity and environmental value of the area, in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

9. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it shall be reported in writing within 2 days to the Local Planning Authority, all associated works shall stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment shall be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors, in accordance with Policy EN13: Air, Noise, Light Pollution and Land Contamination of the Cardiff Local Development Plan.

10. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with Policy EN13: Air, Noise, Light Pollution and Land Contamination of the Cardiff Local Development Plan.

11. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced, in accordance with Policy EN13: Air, Noise, Light Pollution and Land Contamination of the Cardiff Local Development Plan.

12. Prior to the erection of the dwelling hereby approved, a scheme for the drainage of the site and any connection to the existing drainage system shall be submitted to and approved in writing to the local planning authority. No part of the development shall be occupied until the scheme is carried out and completed as approved.

Reason: To decrease the risk of flooding elsewhere and prevent hydraulic overload of the public sewerage system and in accordance with Policies EN10: Water Sensitive Design and EN14: Flood Risk of the Cardiff Local Development Plan.

13. The proposed car parking and manoeuvring areas shall be laid out in accordance with the approved details before the development is brought into beneficial use and be thereafter maintained and retained at all times for those purposes in association with the development.

Reason : To ensure that the use of the proposed development does not interfere with the safety and free flow of traffic passing along the highway, in accordance with Policy T5: Managing Transport Impacts of the Cardiff Local Development Plan.

14. No gates shall be erected at the entrance of the existing and proposed vehicular accesses.

Reason: To ensure that the use of the proposed development does not interfere with the safety and free flow of traffic passing along the highway abutting the site in accordance with Policy T5: Managing Transport Impacts of the Cardiff Local Development Plan.

15. No development shall take place until details showing the provision of cycle parking have been submitted to and approved in writing by the local planning authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the secure parking of cycles in accordance with Policy T5: Managing Transport Impacts of the Cardiff Local Development Plan.

16. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no further windows shall be inserted in the dwelling house hereby approved.

Reason: To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5: Good Quality and Sustainable Design of the adopted Cardiff Local Development Plan.

17. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 2013 (or any Order amending, revoking or re-enacting that Order) no extension shall be placed within the curtilage or any alteration undertaken to the roof of the dwelling hereby approved.

Reason: To ensure that the living conditions of adjoining occupiers are protected and to retain appropriate external amenity space for future occupiers in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

18. The following windows shall be non-opening below a height of 1.7 metres above internal floor level and glazed with obscure glass and thereafter be so retained:

- i) The first floor changing room window on the rear elevation of the dwelling house.
- ii) The first and second floor windows on the side elevations of the dwelling house.

The proposed roof lights on the rear roof plane of the dwelling house and the proposed roof lights in the rear roof plane of the garage/studio shall be installed such that their cill levels are a minimum of 1.7 metres above internal floor level.

Reason: To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

19. No demolition of the garage or removal of trees should take place between 1st March and 15th August unless otherwise approved in

writing by the Local Planning Authority. This approval will be granted if it can be demonstrated that there are no birds nesting in these features immediately (48 hrs) before their removal.

Reason: To avoid disturbance to nesting birds which are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1) (b). It is an offence to intentionally take, damage or destroy the nest of any wild bird while that nest is in use or being built.

20. The garage/studio hereby approved shall not be occupied at any time other than for purposes ancillary to the residential use of no. 71 Church Road.

Reason: The creation of a separate dwelling unit would result in a poor living environment for the future occupants of the building and in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

21. Notwithstanding the submitted plans, further drawings to clarify the materials and architectural detailing of the following elements on the front elevation of the proposed dwelling shall be submitted to and approved by the Local Planning Authority prior to the commencement of development:

Windows, Eaves, Hanging Tiles, Chimney, Reveals, Cast Stone, Brick, Roof and Ridge Details. Drawings shall be submitted at a minimum scale of 1:10.

The development shall be carried out in accordance with the approved details.

Reason: To ensure that the finished appearance of the development is in keeping with the area in accordance with Policies KP5: Good Quality and Sustainable Design and EN9: Conservation of the Historic Environment of the Cardiff Local Development Plan.

22. Notwithstanding the submitted plans, further drawings to clarify the materials and architectural detailing of the walls and roof of the proposed garage/studio shall be submitted to and approved by the Local Planning Authority prior to the commencement of its construction. Drawings shall be submitted at a minimum scale of 1:10. The development shall be carried out in accordance with the approved details.

Reason: To ensure that the finished appearance of the development is in keeping with the area in accordance with Policies KP5: Good Quality and Sustainable Design and EN9: Conservation of the Historic Environment of the Cardiff Local Development Plan.

23. Prior to the partial demolition of the boundary wall, further details to show how the wall will be altered and to describe the methodology and materials to be used in making good, shall be submitted to and approved by the Local Planning Authority. Drawings shall be submitted at a minimum scale of 1:10. The development shall be carried out in accordance with the approved details.

Reason: To ensure that the finished appearance of the development is in keeping with the area in accordance with Policies KP5: Good Quality and Sustainable Design and EN9: Conservation of the Historic Environment of the Cardiff Local Development Plan.

24. Prior to the commencement of development, full details of the proposed works to the boundary wall and pillar foundation shall be submitted to and approved by the Local Planning Authority. The works shall be undertaken in accordance with the approved details. Reason: The trees are of value in the local environment and should be protected and maintained in good condition in accordance with Policy KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan.

RECOMMENDATION 2: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the

physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4: The applicant is advised that developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's commercial team on 029 20717500. It is considered best practise to have a Site Waste Management Plan for demolition projects and that materials should be reused and recycled as much as possible, as advised in the Council's Waste Collection and Storage Facilities Supplementary Planning Guidance.

RECOMMENDATION 5: The applicant is advised that the proposed development may require an application under Schedule 3 of the Flood and Water Management Act for SAB approval. It is recommended that the applicant engages in consultation with the Cardiff Council SAB team as the determining SuDS Approval Body (SAB) in relation to their proposals. To arrange discussion regarding this please contact SAB@cardiff.gov.uk

RECOMMENDATION 6: The applicant is advised that the creation of the new vehicle crossover and any other works to the existing public highway adjacent to the site will be subject to additional licences that should be obtained from the Local Highway Authority prior to implementation.

RECOMMENDATION 7: Bats often roost in houses and other buildings, and work on these buildings may disturb a bat roost. All bats and their roosts are protected against disturbance under UK and European legislation. If works are planned on a building in which bats are roosting, Natural Resources Wales (NRW) must be contacted for advice.

If work has already commenced and bats are found, or if any evidence that bats are using the site as a roost is found, work should cease and NRW should be contacted immediately.

Where there is a likelihood that bats are present, or where bats are found to be present, a suitably qualified and experienced ecological consultant should be contracted to provide an assessment of the impact of the proposed works, and undertake bat surveys if necessary.

Where bats or their roosts are present, no works of site clearance, demolition or construction should take place unless a licence to disturb these species and/or their roosts has been granted in accordance with the relevant legislation. Otherwise, a prosecution may result in a fine and/or imprisonment.

NRW can be contacted at:-

Natural Resources Wales, Tŷ Cambria, 29 Newport Road, Cardiff CF24 0TP,

0300 065 3000.

Bat Conservation Trust can be contacted at:-
5th Floor, Quadrant House, 250 Kennington Lane, London, SE11 5DR,
0845 1300228

RECOMMENDATION 8: Welsh Water/Dwr Cymru advises that the site is crossed by a public sewer and that under the Water Industry Act 1991 it has rights of access to its apparatus at all times. WW/DC encourages that applicant to investigate further or contact them for assistance in regard to this matter.

RECOMMENDATION 9 : In the event that the applicants seek to resurface the existing driveway, they should note that resurfacing within the RPA of retained trees may result in the loss of, damage to or destruction of roots. This would represent an offence unless it is approved as part of an application for consent under the Tree Preservation Order. The applicants are advised that before considering such works, they consult with an arboriculturist to ensure that a 'tree friendly' construction methodology is drawn up to prevent harm to trees.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This planning application relates to land at the side of no. 71 Church Road where permission is sought to demolish an existing garage/outbuilding and construct a detached dwelling together with a detached replacement garage with studio space above, joined to the existing house by a glazed link.
- 1.2 The proposed dwelling is shown to be of pitched roof design with a double height bay projection on the front elevation incorporating a steeply pitched gable roof feature. The main part of the dwelling is two storeys in scale, rising to an eaves height of approximately 5.0 metres and a height of approximately 8.5 metres to the roof ridge. The dwelling contains 3.no bedrooms including a bedroom contained within the steeply pitched roof. Proposed materials comprise a mix of facing brick and render to the elevations, grey roof slates and section of tile hanging. As initially submitted for determination, the dwelling included a dormer extension projecting from the rear roof plane and a single storey extension attached to the south (side) elevation. However, following revisions to the design, these elements have been deleted from the scheme.
- 1.3 A new vehicular access from Heol Don is proposed to serve the new dwelling. This will necessitate the removal of a section of the existing brick boundary wall approximately 4.0 metres in width. Amended plans have repositioned the access further away from the northern boundary of the neighbouring property at no.1 Wingfield Road.
- 1.4 The proposals necessitate the removal of a Bay tree prominently located towards the front of the site and a Laurel also located towards the front of the site near the boundary with no 1. Wingfield Road. The application is supported by an Arboricultural Survey and Impact Assessment together with a proposed landscape

scheme. The landscape scheme proposes the planting of new trees along the site frontage in mitigation (comprising 1no.Cotoneaster and 1no.Ilex aquifolium) in mitigation together with other shrub planting.

- 1.5 The front elevation of proposed house would be sited approximately 8.0 metres from the back edge of footway along Church Road and broadly in line with the front of the existing dwelling. Its northern elevation is shown to be sited up to 13.0 metres from the south facing side elevation of the existing house. The application site adjoins the boundary with a substantial detached house to the south at no. 1 Wingfield Road. The proposed dwelling is positioned forward of the northern part of this property with its side elevation sited between approximately 2.2 metres and 4.6 metres from the boundary.
- 1.6 Between the side of the existing house and the new dwelling, a replacement garage with an artist's studio in the roof space is proposed. The pitched roofed structure rises to a ridge height of approximately 6.0 metres and would be sited between 13.0 metres and 15.0 metres approximately 15.0 metres from the road frontage. The siting of the building towards the rear part of the side elevation of the existing house permits the principal windows and design features on this south facing elevation to remain unobscured. In addition to the studio space, the structure includes a small kitchen and shower room. The building would be joined to the side of the existing house by a narrow glazed link approximately 1.3 in width.
- 1.7 The existing access to the property will be retained and the driveway/ hard surface modified to accommodate additional parking space.
- 1.8 The subdivision of the plot provides a rear garden of approximately 120 sq metres for the proposed dwelling and the retention of at least 250 sq metres of rear garden for the existing house.

2. **DESCRIPTION OF SITE**

- 2.1 Nos 69 and 71 Church Road comprise a pair of large semi-detached houses located at the junction of Heol Don and Church Road, Whitchurch. No. 71 occupies a large triangular shaped site with a frontage onto Heol Don. The boundary to the road is enclosed by a red brick wall on either side of a vehicular access. To the rear of the wall on the northern side of the access there is a screen hedge. To the south of the access the boundary wall is taller and the garden area behind it contains a number of trees. To the south east of the house there is a garage/outbuilding.
- 2.2 The southern boundary of the plot adjoins a large detached house at no. 1 Wingfield Road and the rear gardens 106,108 and 110 Bishop Road.
- 2.3 The site lies at the south eastern end of the Church Road Conservation Area. The Heol Don and Church Road area is characterised by individually designed Victorian and Edwardian houses, both detached and semi-detached. A number of the substantial houses at the Station Road end of Heol Don are set in large gardens, several of which have had a variety of more modern houses or flats built in the grounds. Most recently, this includes development within the grounds of

Vaynor, located opposite Church road at its junction with Heol Don. To the south of Vaynor and opposite nos. 69/71 there are three storey flats known as Heol Don Court. To the south of flats there is large detached property at Benton House. The adjoining semi at no.69 occupies a broadly similar plot to the application site. To the side of the property there is a substantial double garage with accommodation at first floor level within its pitched roof.

- 2.4 There is a bus stop on the road adjacent to the application site and a pedestrian crossing nearby, approximately 25.0 metres to the south of the proposed site access.

3. **SITE HISTORY**

- 3.1 02/00977/N: Single storey rear extension.

4. **POLICY FRAMEWORK**

- 4.1 The Cardiff Local Development Plan 2006-2026 provides the local planning policy framework. Relevant policies include:

KP5: Good Quality and Sustainable Design

KP8: Sustainable Transport

KP 15: Climate Change

KP16: Green Infrastructure

KP17: Built Heritage

EN7: Priority Habitats and Species

EN8: Trees, Woodlands and Hedgerows

EN9: Conservation of the Historic Environment

EN11: Water Sensitive Design

EN13: Air, Noise, Light Pollution and Land Contamination

T5: Managing Transport Impact

W2: Provision for Waste Management Facilities in Development

- 4.2 Supplementary Planning Guidance –

Supplementary Planning Guidance: Cardiff Infill Sites (2017);

Supplementary Planning Guidance: Managing Transport Impacts (incorporating Parking Standards) (January, 2018);

Supplementary Planning Guidance: Waste Collection and Storage Facilities (2016);

Supplementary Planning Guidance: Green Infrastructure (November, 2017);

- 4.3 Church Road, Whitchurch, Conservation Area Appraisal (2006).

- 4.4 Planning Policy Wales (2021, Ed. 11):

1.17 Legislation secures a presumption in favour of sustainable development in accordance with the development plan unless material considerations indicate otherwise to ensure that social, economic, cultural and environmental issues are balanced and integrated.

2.8 Planning policies, proposals and decisions must seek to promote sustainable development and support the well-being of people and communities across Wales.

3.6 Development proposals must address the issues of inclusivity and accessibility for all.

3.7 Developments should seek to maximise energy efficiency and the efficient use of other resources (including land), maximise sustainable movement, minimise the use of non-renewable resources, encourage decarbonisation and prevent the generation of waste and pollution.

3.9 The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations.

3.11 Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.

4.1.35 New development must provide appropriate levels of secure, integrated, convenient and accessible cycle parking and changing facilities.

4.1.52 Parking standards should be applied flexibly and allow for the provision of lower levels of parking and the creation of high quality places.

4.2.23 Infill and windfall sites can make a useful contribution to the delivery of housing. Proposals for housing on infill and windfall sites within settlements should be supported where they accord with the national sustainable placemaking outcomes.

6.1.14 There should be a general presumption in favour of the preservation or enhancement of the character or appearance of conservation areas or their settings. Positive management of conservation areas is necessary if their character or appearance are to be preserved or enhanced and their heritage value is to be fully realised.

6.1.15 There is a strong presumption against the granting of planning permission for developments, including advertisements, which damage the character or appearance of a conservation area or its setting to an unacceptable level. In exceptional cases, the presumption may be overridden in favour of development considered desirable on public interest grounds.

6.1.16 Preservation or enhancement of a conservation area can be achieved by a development which either makes a positive contribution to an area's character or appearance or leaves them unharmed. Mitigation measures can also be considered which could result in an overall neutral or positive impact of a proposed development in a conservation area.

6.4.22 The presence of a species protected under European or UK legislation, or under Section 7 of the Environment (Wales) Act 2016 is a material consideration when a planning authority is considering a development proposal which, if carried out, would be likely to result in disturbance or harm to the species or its habitat and to ensure that the range and population of the species is sustained. Planning authorities should advise anyone submitting a planning application that they must conform with any statutory species protection provisions affecting the site, and potentially the surrounding area, concerned.

6.4.25 Planning authorities should protect trees, hedgerows, groups of trees and areas of woodland where they have ecological value, contribute to the character or amenity of a particular locality, or perform a beneficial and identified green infrastructure function.

6.6.27 Planning authorities should be aware of the risk of surface water flooding and ensure developments are designed and planned to minimise potential

impacts. Development should not cause additional run-off, which can be achieved by controlling surface water as near to the source as possible by the use of SuDS

- 4.4 Planning (Listed Buildings and Conservation Areas) Act 1990
Technical Advice Note 24: The Historic Environment (2017)
Technical Advice Note 18: Transport (2007)

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 The Operational Manager Transportation comments as follows:

The submission has been assessed and is considered to be acceptable, in principle, subject to the following comments.

The adopted Managing Transport Impacts (Incorporating Parking Standards) SPG confirms that residential development of the type applied for attracts a car parking provision of zero to 2 spaces per unit, along with cycle parking at a ratio of 1 cycle space per bedroom. The proposed car parking provision of 2 identified spaces plus manoeuvring for each dwelling (existing and new) is considered to be policy compliant. It is also considered that the cycle parking for the existing/retained house can be accommodated in the proposed replacement garage and is acceptable. However no cycle parking appears to be identified for the new dwelling and as such the standard condition C3S should be applied to ensure such provision is available for the incoming residents.

With reference to location and wider development considerations. It is noted that the site is within 150m walk/cycle of Llandaff rail station, which provides covered cycle parking and access to frequent inbound/outbound rail services. There are also inbound and outbound bus public transport services available from the bus stops adjacent to the site on Station Road. The site is also within a short walk, circa 200m, of shops and services in Llandaff North. The proposed dwelling is therefore considered to be in a highly sustainable location in transport terms, providing readily available access to frequent public transport options and local shopping/services.

It is noted that a number of letters of objection to the development have been received, within which are included a number of overlapping highway safety/transport objections. In broad terms the objection can be summarised:-

i) The new access too close to existing crossing and bus stops, leading to safety concerns for pedestrians;

ii) Cars will be turning into the new drive from the zig-zags of the crossing, leading to safety concerns for pedestrians and vehicles;

iii) Visibility to/from the new entrance is restricted and/or obscured by the brow of the hill, leading to safety concerns for pedestrians;

vi) Increased congestion, locally at the entrance and on the wider network.

In considering the above concerns I would make the following comments:

In relation to highway safety, points 1 through 3, I would confirm that the visibility splays for vehicles leaving the site have been assessed and are within guidelines, both vertically and horizontally, for the circumstances and speed limit of the adjacent road.

The proximity of the zebra crossing to the new entrance is noted in a number of the objections, however the presence of a crossing is considered to make drivers more attentive to their surroundings and generally results in lower vehicle speeds. I would also confirm that I am not aware of any instances where the proximity of a drive to a crossing or bus stop has been recorded as a contributory factor in a collision.

In respect of the proximity of the bus stops to the proposed access, I must point out that the arrangement is not unusual. There are a significant number of examples of arrangements like this throughout Cardiff and one on Station Road/Heol Don circa 200m to the north. Similarly, the proximity of the access to, or even from/within the zig-zigs, is not uncommon and I can confirm that no offence is committed by a driver waiting for a gap in traffic to make a turn.

In respect of the concerns submitted in relation to increased traffic congestion, I must confirm that the traffic generated by a single dwelling with 2 parking spaces will be imperceptible and will amount to a fraction of a percent of the daily traffic on the local network

The proposed new access is therefore considered to accord with guidance and is otherwise acceptable as submitted.

Conditions:

Standard Cycle Parking condition C3S (for the new dwelling);

Standard Parking condition E3D (both dwellings);

Standard No Access Gates condition C3R (both dwellings).

Second Recommendation:

The creation of the new vehicle crossover and any other works to the existing public highway adjacent to the site shall be subject to additional licences to be obtained from the Local Highway Authority prior to implementation.

Conclusion:

In light of the foregoing, I must conclude that any objection on parking or traffic grounds would be unsustainable and any reason for refusal on this basis would not withstand challenge. I have no objection to the application subject to the above requested conditions and associated comments.

The Officer comments as follows in relation to the 'late' representation received prior to the Committee meeting on 15th June, 2022:

The late representation correctly identifies that the new access to the application site is taken from Heol Don rather than Church Road and that the former is an A road, while the latter is not (it is an unnumbered C road). However, this fact has no particular bearing on the consideration of the application. The submitted plans clearly identify the location of the new access, and this is the basis of the consideration of the proposed development.

The late representation suggests that Church Road is "lower density" than Heol Don and that this is a "critical misrepresentation" without explaining what this means or why it has a material bearing on consideration of the application. Both roads in question are residential in nature, flanked by predominantly semi-detached properties with drives and off-road parking, and both (in the vicinity of the site) are subject to 20mph speed limits and traffic calming. In reality, both roads are very similar in nature.

The road name confusion possibly stems from the property being addressed Church Road, while being accessed from Heol Don.

Regard to the second point made in the late representation in relation to TAN 18, it can confirm that this and other guidance such as Manual for Streets, where they talk about sight lines and visibility spays, are taken to apply to side road junctions with other roads rather than residential drives.

If we look at TAN 18, Annex B, paragraphs B5 and B6 quoted in the late representation, it will be noted that these paragraphs come under the heading "Visibility Spays at Junctions" and are described as being the requirements at "...priority junctions and crossroads...". Private drives are not considered to be priority junctions or crossroads and are therefore not subject to the minimum X distance of 2.4m.

It would therefore appear that the late representation has incorrectly interpreted TAN18 and applied it to this application erroneously. I must therefore reiterate that the submitted access arrangement has been assessed and is considered to be acceptable, including the appropriateness of the visibility splay provision.

- 5.2 Pollution Control (Contaminated Land): Standard conditions and informatives relating to unforeseen contamination; imported materials, contaminated/unstable land and construction site noise.
- 5.3 The Drainage Engineer advised that as the application provides insufficient drainage details in respect of surface water drainage, an appropriate condition should be attached in the event that the application is recommended for approval.
- 5.4 The Operational Manager Waste advises that the proposed dwelling will require the following for recycling and waste collections:

1 x 140 litre bin for general waste
1 x 240 litre bin for garden waste

1 x 25 litre kerbside caddy for food waste
Green bags for mixed recycling (equivalent to 140 litres)

The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management's commercial team on 029 20717500. It is considered best practise to have a Site Waste Management Plan for demolition projects and that materials should be reused and recycled as much as possible, as advised in the Council's Waste Collection and Storage Facilities Supplementary Planning Guidance.

5.5 Pollution Control (Noise and Air Team): The following informative is requested:
R1 Construction Site Noise.

5.6 The Tree Officer has considered the application and is aware of the representations received from residents on tree grounds including a tree report submitted by the neighbouring occupier. Having regard to the amended plans which include the relocation of the access and the retention of a soft landscaped bed between the access and the neighbour's boundary wall, the Officer raises no objections to the application subject to appropriate planning condition. With regard to tree planting in mitigation for the removal of trees, the Officer advises that a proposed tree removed from the most recent iteration of the landscape plan should be reinstated within the retained vegetated soil between the proposed access and the neighbour's boundary wall, but planted at smaller size to avoid excessive excavation within the root protection area of the Sycamore tree.

5.7 The Conservation Officer comments as follows:

The plot is large enough to accommodate an additional dwelling without harming the character or appearance of the conservation area in terms of the established building lines, plot size and the distinctive character created by large, landscaped gardens such as this. Although it will be close to the southern boundary, this is not unusual within the area and the building would be appropriately scaled relative to the size of the resulting plot.

The building would reflect the form, detailing and materials which characterise the conservation area. Such details include the use of tall brick chimneys, steeply pitched gables and slate roofs, vertically emphasised fenestration, stone bay windows, use of hanging tiles and red brick paired with white render. Further architectural detail drawings will be required in order to ensure that the building is appropriately high quality in execution. A materials sample condition should also be applied.

The new garage and glazed link to number 71 would be positioned well back into the site and would not be prominent within the conservation area. Limited details have been provided regarding the materials or architectural detailing for this element. These details should be secured by condition to ensure that it is a sympathetic addition.

Detailed plans are required to show how the wall would be altered and to describe the methodology and materials to be used in making good. Conditions should be

applied to ensure that these drawings are provided in advance of any partial demolition being undertaken.

Subject to resolution of the above issues, it is considered that the character of the conservation area would be preserved.

- 5.8 The Ecologist recommends an informative relating to bats and the condition relating to the protection of nesting birds.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Welsh Water/Dwr Cymru advises that the site is crossed by a public sewer. It states that if it needs to be diverted this could be addressed outside the planning application but that it would be beneficial to advise the applicant so that discussions can commence.

The Company requests a drainage condition if the Council minded to grant planning permission.

7. **REPRESENTATIONS**

- 7.1 The application has been advertised in the press and by the display of a site notice. Neighbouring occupiers have also been notified.
- 7.3 A 63 signature petition has been received objecting to the application and requesting to speak at at planning committee.
- 7.4 Some 38 representations were initially received objecting to the application. Full details of the representations can be viewed on the application file. In summary, the grounds of objection are as follows:

Detrimental impact on the character and appearance of the Church Road Conservation Area.

The proposed development is not considered to accord with relevant policy guidance including the Cardiff Infill Sites Supplementary Planning Guidance, Cardiff Residential Design Guide and the Church Road Conservation Area Appraisal.

The development fails to respond to the existing urban grain and fails to preserve or enhance the character or appearance of the Conservation Area.

The proposal constitutes overdevelopment and would be out of scale with its environment.

The proposal is not in character with the area.

Lack of amenity space.

A section of the existing boundary wall is to be removed.

Significant views in and out of the conservation area and along a principal road is not respected.

The development does not maintain common building plot size or subdivision and will involve the removal of the side garden from 71 Church Road, reducing its framing by gardens and landscaping.

The proposal will remove soft landscaping to provide a hard surface driveway and parking for the new property.

The removal of trees/shrubs will negatively affect the character of the street, the continuity of the tree canopy and the framing of 1 Wingfield Road by mature landscaping which comprise the south west boundary of the conservation area.

The proposed garage studio could be used as a self-contained separate dwelling unit. Small independent dwellings of this nature would be inappropriate in an area of Victorian and Edwardian villas.

The proposed parking area and removal of soft landscaping will create a car-dominated frontage and will be detrimental to the street scene and historic built environment.

Adverse effect on tree and nature conservation

The proposed development would adversely impact an existing group designation of a 1975 Tree Preservation Order within the Church Road Conservation Area. Specifically, it will remove trees between the Sycamore (in the garden of 1 Wingfield Road) and a Cedar at 71 Church Road in a manner that will detrimentally affect the tree line and canopy which provides a visible marker to the entrance to the conservation area. Reference is made to supplementary planning guidance which states that significant public views or vistas in the street scene, including between and beyond buildings, which contribute to the character of the area should be respected.

The protected Sycamore in the garden of 1 Wingfield Road and near the boundary with the application site will be adversely affected by the proposed development. A neighbouring occupier has submitted an arboricultural assessment in support of objections to the application on tree grounds.

Detrimental effect on highway safety

The proposed access is located next to a bus stop, close to a well-used pedestrian crossing and on a route to primary and secondary schools in the area. The crossing is at the top of the hill at Llandaff North. Reference is also made to a one way restriction on the Parade and the closure of the vehicular access to Wingfield Road.

Having regard to this context, the proposed access is considered to raise significant highway and pedestrian safety concerns.

Approaching from Llandaff North, it is of concern that cars will be required to stop within the pedestrian zig-zag lines before turning and that coming from the other direction, cars turning will obscure the view for cars and pedestrians. There is also concern that highway safety would be compromised as a result of traffic associated with the construction of the proposed development.

Some residents have made reference to collisions/accidents in the vicinity of the site.

Detrimental effect on residential amenity.

Loss of light, overlooking and overshadowing of neighbouring properties contrary to advice in supplementary planning guidance. Both the proposed dwelling and garage/studio would adversely impact on the privacy of neighbours resulting in unacceptable overlooking. There would be overshadowing of neighbouring properties including garden areas and loss of sunlight.

The proposed development would be contrary to the provisions of the Human Rights Act (right to peaceful enjoyment of their private and family life).

- 7.5 Neighbours and nearby occupiers have been consulted on amended plans and a further site notice has been displayed. Some 18 additional representations objecting to the application have been received.

In summary the objections generally reiterate the concerns submitted in relation to the plans as initially submitted referencing highway safety, impact on the character of the conservation area, the amenity of neighbouring and nearby occupiers, impact on trees/landscaping. A neighbouring occupier has submitted an updated arboricultural assessment in support of tree/ objections.

It is commented that that the original application is now several years old and that material changes will have occurred in the surrounding area and that the time given to comment on the amended application is minimal. It is queried whether this is in line with policy.

There is that the planning process is not considered to be fair, open or transparent. Officer comments have not been uploaded for public consideration. It is queried whether the application remains in line with all relevant statutory and regulatory guidance.

- 7.6 Further 'late' representations from neighbouring occupiers were reported on the Late Representations Schedule distributed prior to the Committee meeting on 15th June, 2022. In summary, the representations raise concerns in relation to process, communication and transparency in the handling of the planning application and refer to inaccuracies in the officer report. E.g., the report states that the proposed access is onto Church Road whereas the entrance is actually onto Heol Don (A4054). It is considered that the Transportation Officer's advice is misleading in that he has failed to address Technical Advice Note 18 in his comments. It is considered that the proposed access is in a potentially dangerous position subject to a significant level of pedestrian and cycle movement particularly at peak times and that it is surprising the Officer has effectively ignored or misapplied Welsh Government advice on visibility requirements.

(Note: The Transportation Officer's response to the representation is included in section 5.1 of the report. The proposed access is onto Heol Don rather than Church Road and this is corrected in paragraph 1.3 of the report).

8. ANALYSIS

- 8.1 This planning application was deferred at Planning Committee on 15th June, 2022 for a Members' site meeting which took place on 27th June, 2022 and is reported back for determination.
- 8.2 The application relates to land at the side of no. 71 Church Road where permission is sought to demolish an existing garage/outbuilding and construct a detached dwelling together with a detached replacement garage with studio space above, joined to the existing house by a glazed link. A section of the existing brick boundary wall would be removed to facilitate access to the site.
- 8.3 The main planning issues are considered to relate to:
- (i) The effects of the proposed development on the character and appearance of the Church Road Conservation Area, within which the site is located;
 - (ii) The effect on the living conditions of neighbouring occupiers;
 - (iii) Whether the proposed development will provide an acceptable living environment for prospective occupiers;
 - (iv) The acceptability of the proposed parking/access arrangements;
 - (v) The effect on trees and ecology/nature conservation interests.
- 8.4 Design guidance for the assessment of the proposal is provided by Policies EN9: Conservation of the Historic Environment, KP5: Good Quality and Sustainable Design of the Cardiff Local Development Plan and the Church Road, Whitchurch, Conservation Area Appraisal.
- 8.5 Policy EN9: Conservation of the Historic Environment advises that within conservation areas, development will only be permitted where it can be demonstrated that it preserves or enhances that asset's architectural quality, historic and cultural significance, character, integrity and/or setting.
- 8.6 Policy KP5 : Good Quality and Sustainable Design states that... *all new development will be required to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces by (inter alia):*
- (i) responding to the local character and context of the built and landscape setting so that layout, scale, form, massing, height, density, colour, materials, detailing and impact on the built and natural heritage are all addressed within development proposals;*
 - (x) ensuring no undue effect on the amenity of neighbouring occupiers and connecting positively to surrounding communities.*
- 8.7 Planning Policy Wales (2021, Ed. 11) at paragraph 3.9 states that *'The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations.'*
- 8.8 PPW contains the following guidance in respect of development within

conservation areas:

6.1.15 There is a strong presumption against the granting of planning permission for developments, including advertisements, which damage the character or appearance of a conservation area or its setting to an unacceptable level. In exceptional cases, the presumption may be overridden in favour of development considered desirable on public interest grounds.

6.1.16 Preservation or enhancement of a conservation area can be achieved by a development which either makes a positive contribution to an area's character or appearance or leaves them unharmed. Mitigation measures can also be considered which could result in an overall neutral or positive impact of a proposed development in a conservation area.

- 8.9 Further guidance on residential infill development is provided in the Council's Supplementary Planning Guidance (SPG): Cardiff Infill Sites (2017).
- 8.10 At paragraph 3.8 the SPG states that: *Infill development needs to be sensitive to its context. It is important that in residential areas where there is a clear existing pattern and form of development, that new buildings, landscaping and boundary treatments complement the character of the surroundings.*
- 8.11 At paragraph 3.15 the SPG states that: *The spaces between adjacent buildings often have as much impact on the character of the area as the form of the buildings themselves. Plots must be of sufficient width to accommodate buildings that fit well into the street scene and provide adequate visual separation where appropriate.*
- 8.12 It is considered that the plot is large enough to accommodate an additional dwelling without harming the character or appearance of the conservation area in terms of the established building lines, plot size and the distinctive character created by large landscaped gardens such as this. Although the dwelling will be sited close to the southern boundary, this is not unusual within the area and the building would be appropriately scaled relative to the size of the resulting plot. Its front elevation would be sited approximately 8.0 metres from the back edge of footway and would be partially screened by the retained section of boundary wall. Sufficient distance would be retained between the dwelling and its neighbours to provide adequate visual separation in views from the street.
- 8.13 The appearance of the dwelling has been amended since the application was initially submitted for determination. In its revised form, the proposed building would reflect the form, detailing and materials which characterise the conservation area. Such details include the use of tall brick chimneys, steeply pitched gables and slate roofs, vertically emphasised fenestration, stone bay windows, use of hanging tiles and red brick paired with white render. Further architectural drawings will be required in order to ensure that the building is appropriately high quality in execution. Conditions are proposed to address this matter.
- 8.14 The new garage and glazed link to number 71 will be positioned well back into the site and will not be prominent within the conservation area. A condition is recommended to require approval of the materials and architectural detailing for this element to ensure that it is a sympathetic addition. With regard to the proposed

opening in the boundary wall, it is proposed to form new piers with reclaimed bricks. The agent has clarified that a disc cutter will be utilised for the opening and the reclaimed bricks utilised to build the new piers. Notwithstanding this clarification, a condition is recommended requiring the submission of details to show how the wall will be altered and to describe the methodology and materials to be used in making good.

- 8.15 The impact of the proposed development on trees/landscape is a further important material consideration in the assessment of the application as trees contribute to the character of the Conservation Area. The proposals necessitate the removal of a Bay prominently located towards the front of the site and a Laurel also located towards the front of the site near the boundary with no 1. Wingfield Road. The trees have been graded B (moderate quality) and C (low quality) in the applicant's Arboricultural Survey and Impact Assessment. Some work to other trees on the site are also recommended. Prominent Cedar trees located near the existing driveway are retained. As initially submitted, the proposed vehicular access was positioned directly next to the northern site boundary of 1 Wingfield Road. Amended layout plan has moved the access further north within the plot, and therefore further away from a mature protected Sycamore tree within the neighbour's garden.
- 8.16 A landscape scheme proposes 2no.new trees along the site frontage in mitigation (comprising 1no.Cotoneaster and 1no.Ilex aquifolium) in mitigation together with other shrub planting.
- 8.17 The Tree Officer has considered the application and is aware of the representations received from residents on tree grounds. Having regard to the amended plans which include the relocation of the access and the retention of a soft landscaped bed between the access and the neighbour's boundary wall, the Officer raises no objections to the application subject to appropriate planning condition. With regard to tree planting in mitigation for the removal of trees, the Officer advises that a proposed tree removed from the most recent iteration of the landscape plan should be reinstated within the retained vegetated soil between the proposed access and the neighbour's boundary wall, but planted at smaller size to avoid excessive excavation within the root protection area of the Sycamore tree.
- 8.18 On balance, having regard to the proposed dwelling's amended design and revised access and subject to the recommended conditions it is considered that the scheme would reasonably preserve the character of the conservation area.
- 8.19 The Infill Sites SPG advises at paragraph 4.5 that *'Houses and ground floor flats that will serve as family accommodation should include enclosed and secure private amenity areas. Such amenity areas should measure at least 10.5m in depth or 50sq.metres overall but generally reflect that which is characteristic of the surrounding area'*.
The subdivision of the plot provides a rear garden of approximately 120 sq metres for the proposed dwelling and the retention of at least 250 sq metres of rear garden for the existing house.
- 8.20 With regard to the effect on the living conditions of neighbouring occupiers, the

main impact of the proposed development would be no 1.Wingfield Road which adjoins the application site to the south, the existing house at no.71 Church Road and neighbouring properties in Bishop's Road.

- 8.21 The Council's Infill Sites SPG advises that a minimum of 21.0 metres should be maintained between principal habitable room windows to ensure adequate privacy for the occupiers of proposed buildings as well as for neighbouring properties. The SPG also advises that the minimum overlooking distance from habitable room windows to a garden area of a separate dwelling should be 10.5 metres. Having regard to the siting and orientation of the proposed dwelling, the application is considered to satisfy this guidance. The amended plans have sought to mitigate overlooking concerns by deleting a large dormer roof extension initially proposed on the rear roof plane and replacing this with a number of high level roof lights. At first floor level, the nearest window in the rear elevation of the proposed dwelling to the boundary with no 1.Wingfield Road now serves a dressing room and is conditioned to be obscurely glazed as are upper floor windows on both side elevations of the dwelling. Whilst oblique views across neighbouring gardens may be possible, a degree of mutual overlooking between neighbouring two storey dwellings is an inevitable feature of suburban living.
- 8.22 The south elevation of the proposed dwelling will be sited between approximately 2.2 metres and 4.6 metres from the northern boundary of the neighbouring property at no 1. Wingfield Road. A single storey element initially proposed directly next to the boundary with the neighbour's garden has been deleted from the scheme. Having regard to the relative siting of the proposed dwelling in relation to this neighbouring property and to the other neighbours, it is not considered that the proposed development would impact unacceptably on light to habitable rooms having regard to the Council's guidelines on this matter or be likely to 'overbear' and dominate the neighbours' outlook to such an extent that the application should be refused for this reason.
- 8.23 With regard to matters relating to transportation and highway safety, the application has been considered by the Operational Manager, Transportation (refer paragraph 5.1). The Officer notes that the proposed dwelling is located in a highly sustainable location in transport terms, providing readily available access to frequent public transport options and local shopping/services. He is satisfied that car and cycle parking can be provided for both the proposed and existing dwelling in accordance with the Council's adopted Managing Transport Impacts (Incorporating Parking Standards) SPG.
- 8.24 The Officer notes the objections received from local residents as follows:
- i) The new access is too close to the existing crossing and bus stops, leading to safety concerns for pedestrians;*
 - ii) Cars will be turning into the new drive from the zig-zags of the crossing, leading to safety concerns for pedestrians and vehicles;*
 - iii) Visibility to/from the new entrance is restricted and/or obscured by the brow of the hill, leading to safety concerns for pedestrians;*

vi) Increased congestion locally at the entrance and on the wider network.

- 8.25 In response to these concerns, the Officer advises that the visibility splays for vehicles leaving the site have been assessed and are within guidelines, both vertically and horizontally, for the circumstances and speed limit of the adjacent road. The Officer states that the presence of a crossing is considered to make drivers more attentive to their surroundings and generally results in lower vehicle speeds. He confirms that he is not aware of any instances where the proximity of a drive to a crossing or bus stop has been recorded as a contributory factor in a collision.
- 8.26 In respect of the proximity of the bus stops to the proposed access, the Officer points out that the arrangement is not unusual and that there are a significant number of similar example throughout Cardiff referring to one on Station Road/Heol Don approximately 200m to the north. The Officer comments that the proximity of the access to, or even from/within the zig-zigs, is not uncommon and confirms that no offence is committed by a driver waiting for a gap in traffic to make a turn.
- 8.27 In respect of the concerns submitted in relation to increased traffic congestion, the Officer advises that the traffic generated by a single dwelling with 2 parking spaces will be imperceptible amounting to a fraction of a percent of the daily traffic on the local network.
- 8.28 In conclusion, the Officer advises that the proposed access is considered acceptable on highway safety grounds and raises no objections subject to appropriate conditions.
- 8.29 The Council Ecologist considered the application and has raised no objections on nature conservation grounds.
- 8.30 With regard to comments received concerning procedural aspects relating to the determination of the application, following the initial notification of neighbouring occupiers, residents have been notified of amended plans/additional details on two further occasions giving opportunity to comment. Site notices have been displayed on two occasions. Although the application was submitted in 2018, it is being assessed in relation extant planning policy guidance. Final representations received from Council officers are referenced in the Committee report.
- 8.31 In conclusion, the proposed development, as amended, is considered acceptable on planning grounds and planning permission is recommended subject to the attached conditions.

9. **OTHER CONSIDERATIONS**

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to

prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on the Welsh Ministers (and other public bodies) to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.

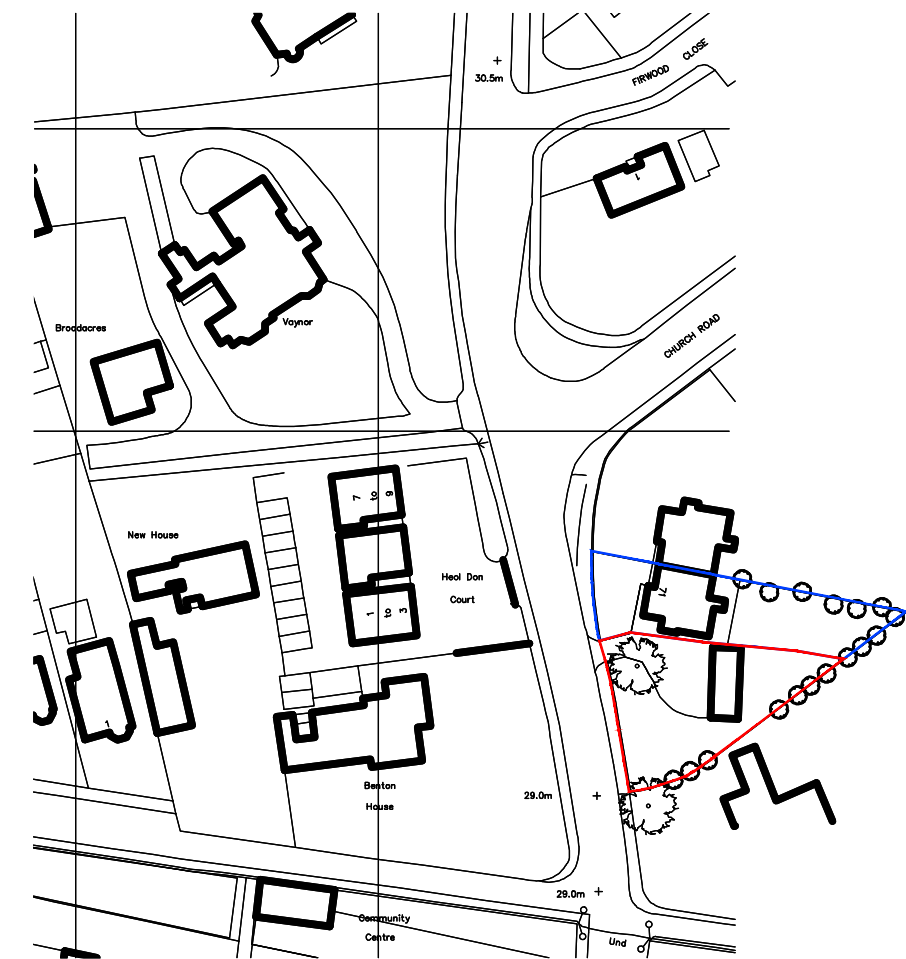
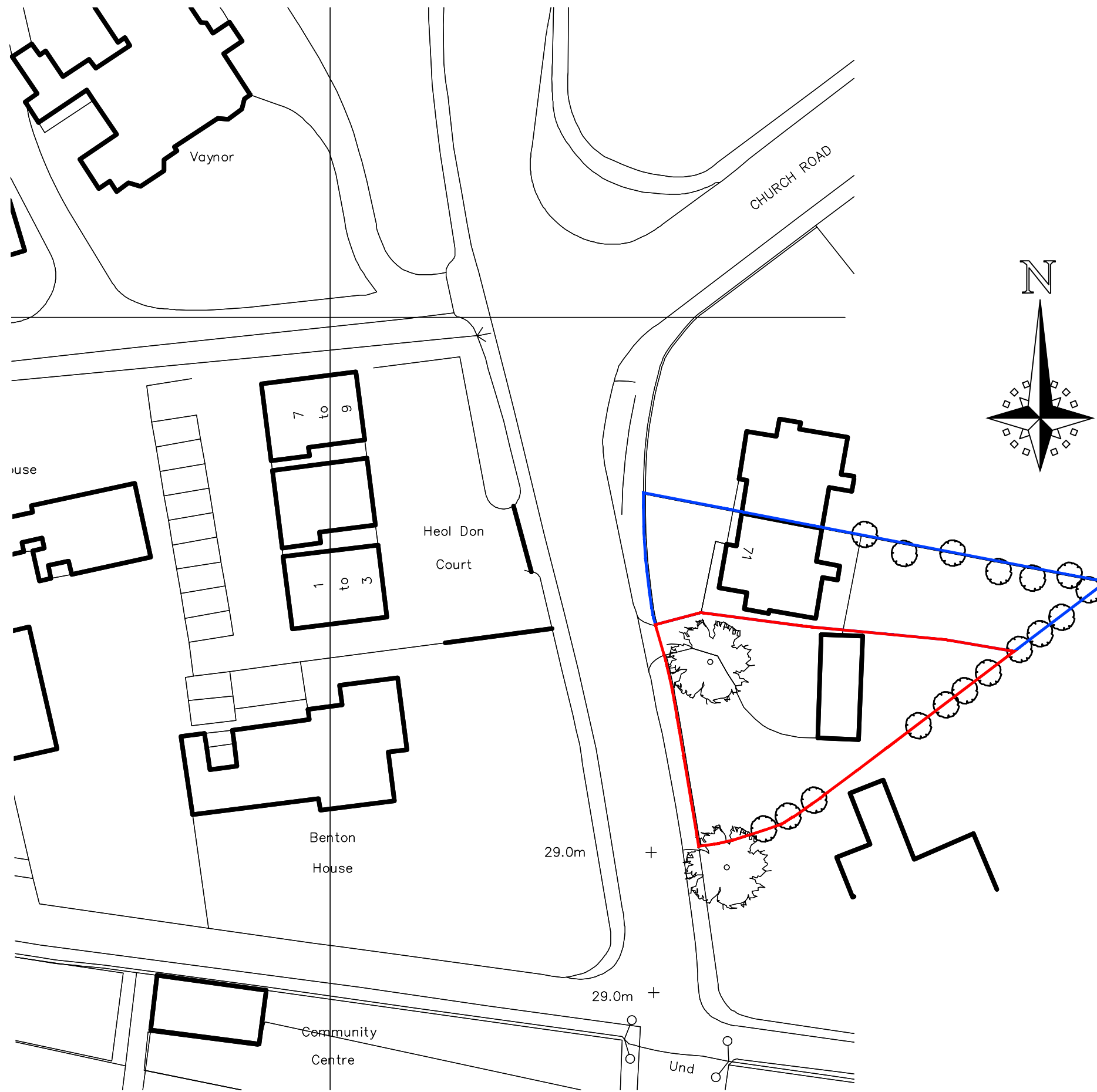
9.4 *Environment (Wales) Act 2016*

The Environment (Wales) Act 2016 imposes a duty on the Local Authority to seek to maintain and enhance biodiversity in the proper exercise of its functions and in doing so to promote the resilience of ecosystems. It is considered that the proposed development does not have any significant implications for, or effect on, biodiversity.

10. **ALTERNATIVE RECOMMENDATION**

10.1 This application was considered on 6th July 20122 Planning Committee where it was resolved to defer the application to the next meeting of Planning Committee for reasons for refusal. If members remain minded to refuse the application the following reason is suggested:

1. The proposed layout makes insufficient provision for replacement planting in mitigation for the removal of existing vegetation / boundary planting to the detriment of the character of the Church Road Conservation Area contrary to Policies 5 KP5: Good Quality and Sustainable Design and EN9: Conservation of the Historic Environment of the Adopted Cardiff Local Development Plan.



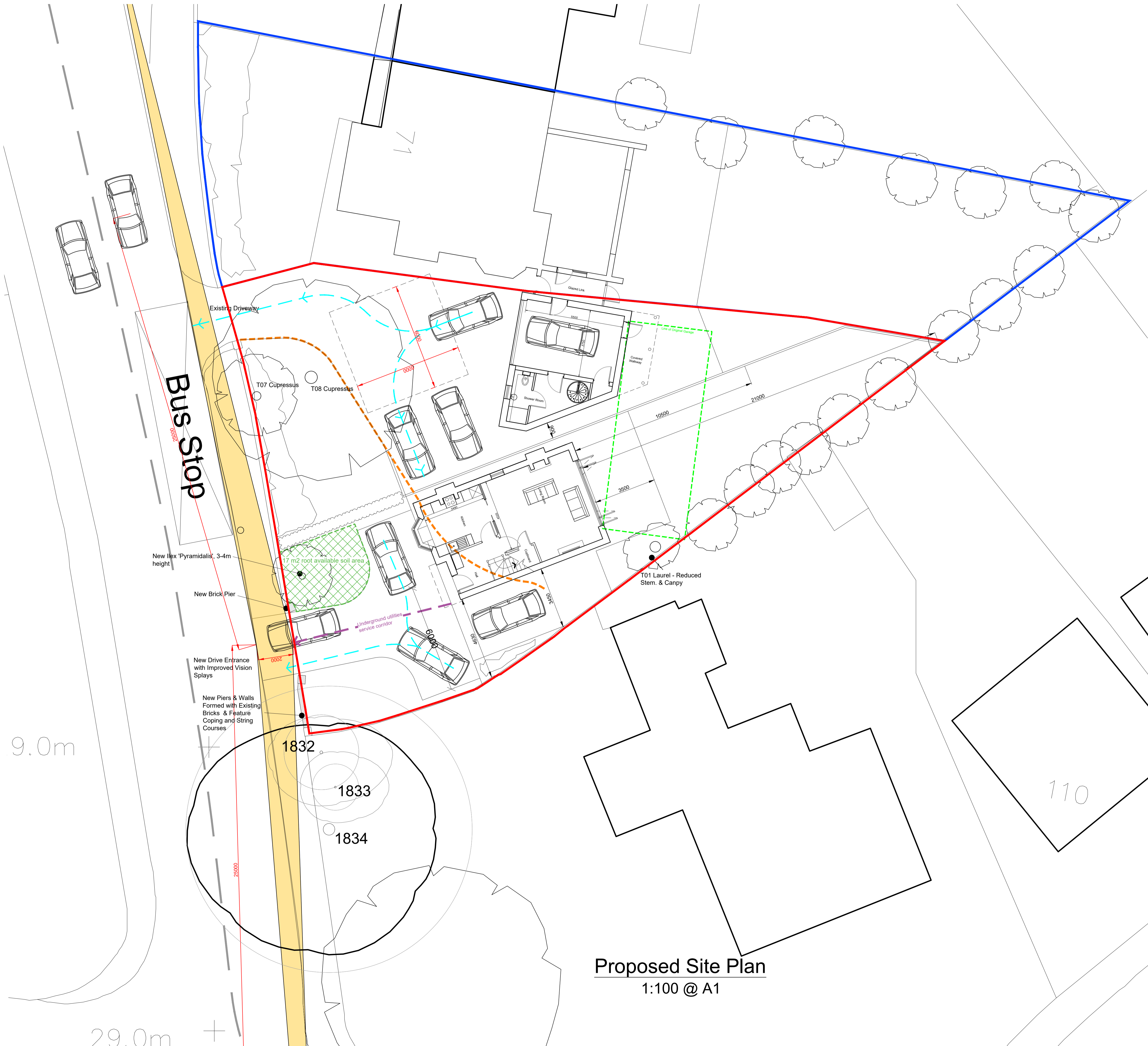
Site Plan 1:1250

Site Plan 1:500

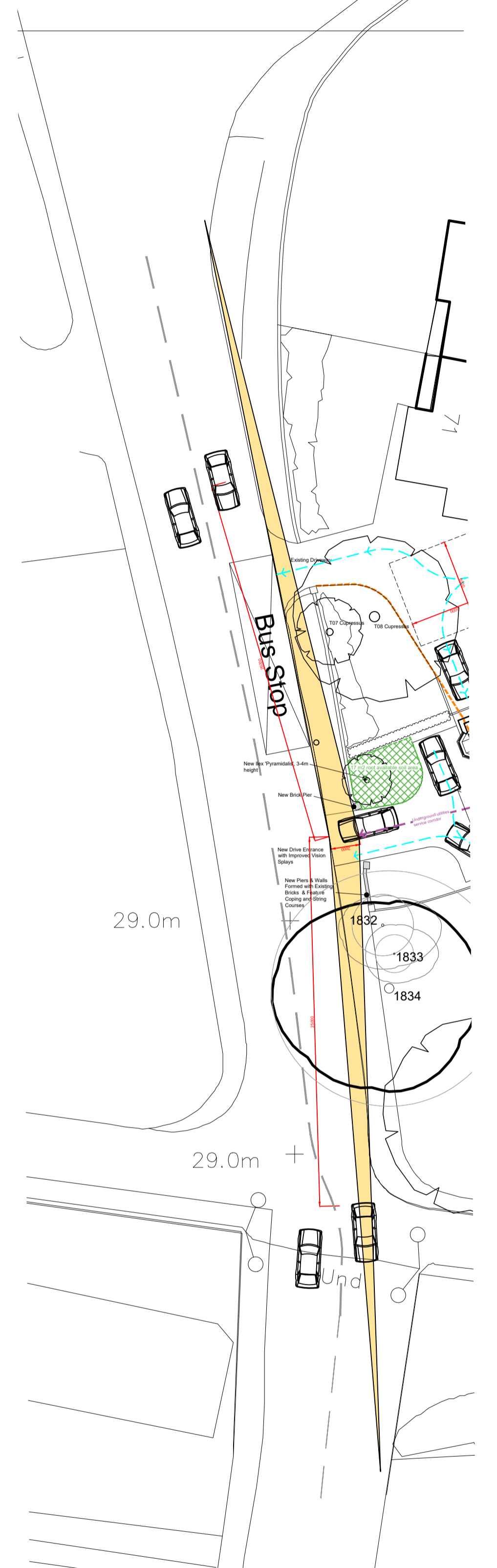
71 Church Rd. Whitchurch Existing Site Plan Dr Martin Andrew		Job No. 17_034 Dwg No. AL(90)01	Rev.
Title Site Plan			
Date 27.02.15	Drawn SJD	Scale 1:100 @ A1 & 200 A3	
		Architects · Town planners Environmental & Urban design	
Unit 1A, Compass Business Park, Pacific Road, Cardiff. CF24 5HL		www.cjarchitects.co.uk tel: 029 20452100	

Date	Drawn	Check	Description
06/06/2018	WS	---	Red line boundary amended
23/10/2018	WS	---	Further amendments
14/12/2018	WS	---	Vision Splay Added
17/01/2019	WS	---	Drive Area Redefined & Protection to Holly Bush Increased
04/07/2019	WS	---	Vision splay and driveway scale amended
18/08/2019	WS	---	House plan updated to match AL01/02 Rev B
18/12/2019	WS	---	Driveway amended
21/07/2020	WS	---	New house, driveway and landscaping amended
10/12/2020	WS	---	Underground utility service corridor shown
24/03/2021	WS	---	Dimensions added
27/05/2021	WS	---	Driveway access moved outwards by two metres
01/06/2022	WS	---	Landscaping updated to 02 zone removed, utility corridor centralised

Rev
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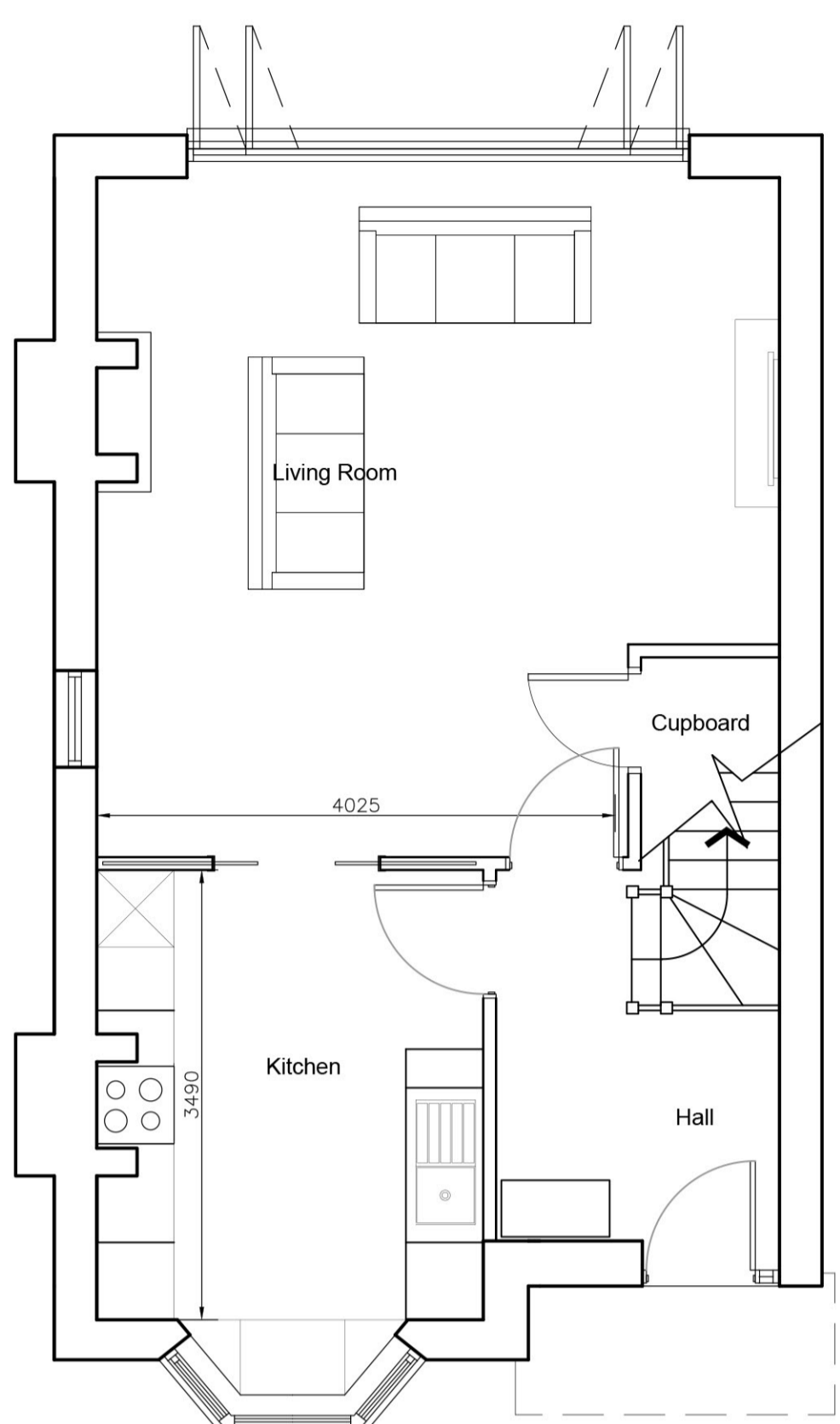


Proposed Site Plan
1:100 @ A1



Vision Splay
1:250 @ A1

71 Church Rd, Whitchurch Proposed New Dwelling Dr Martin Andrew		Job No. 17_034	Rev. L
Dwg No. AL(00)01			
Proposed Plans			
Date 27.02.15	Drawn SJD	Scale 1:200 & 1:500 @ A3	
		Town planners Environmental & Urban design	
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 0NL. www.cjarchitects.co.uk tel: 029 20452100</small>			



Ground Floor

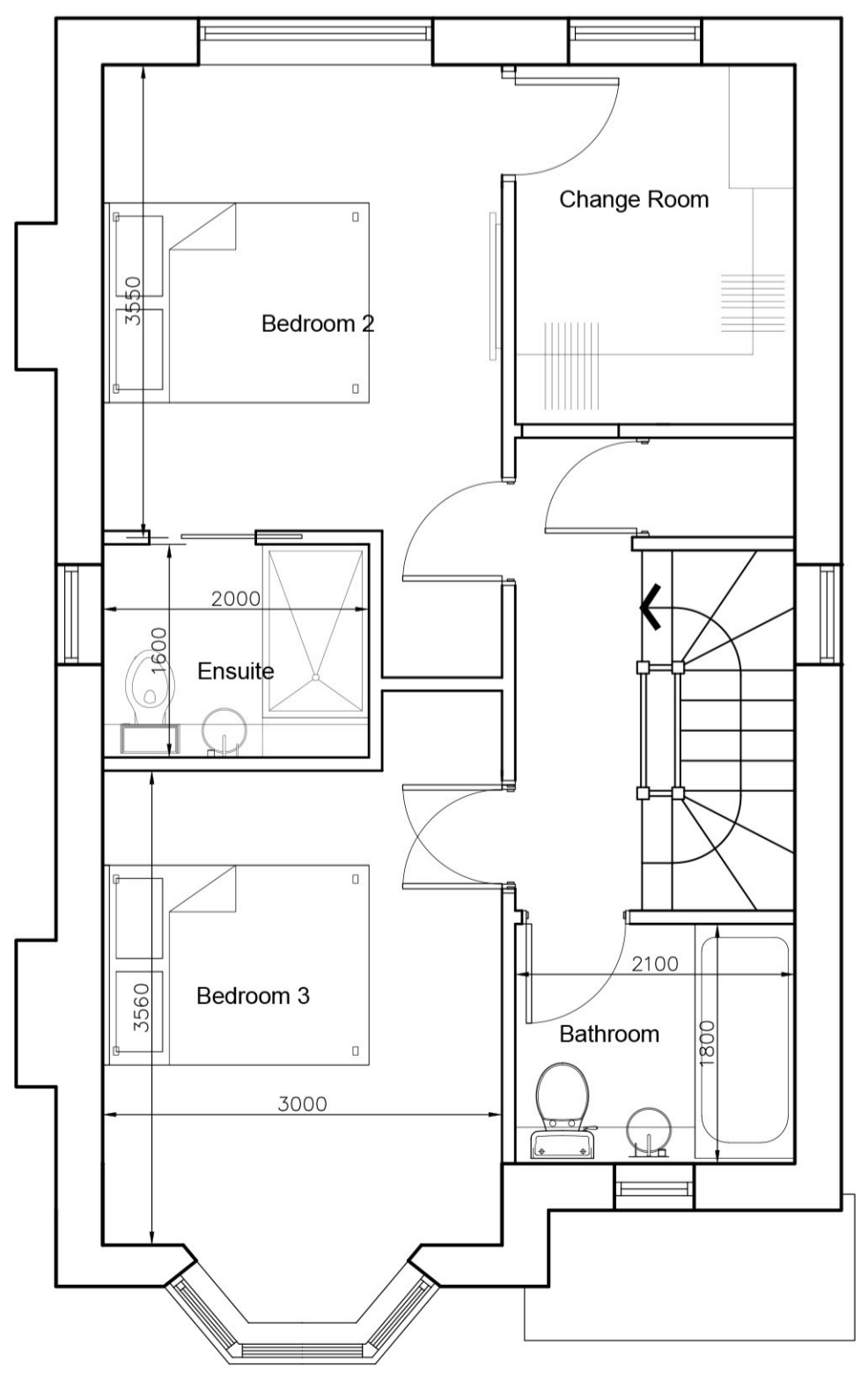
- External Materials
- 1: Slate Roof
 - 2: Hanging Tile
 - 3: Cast - Stone Head
 - 4: UPVC Sash Windows
 - 5: Cast - Stone Cill
 - 6: Render
 - 7: Vertical Facing Brickwork Band with String Course Above
 - 8: Facing Brickwork
 - 9: Facing Brickwork Feature Plinth
 - 10: Conservation Roof Lights



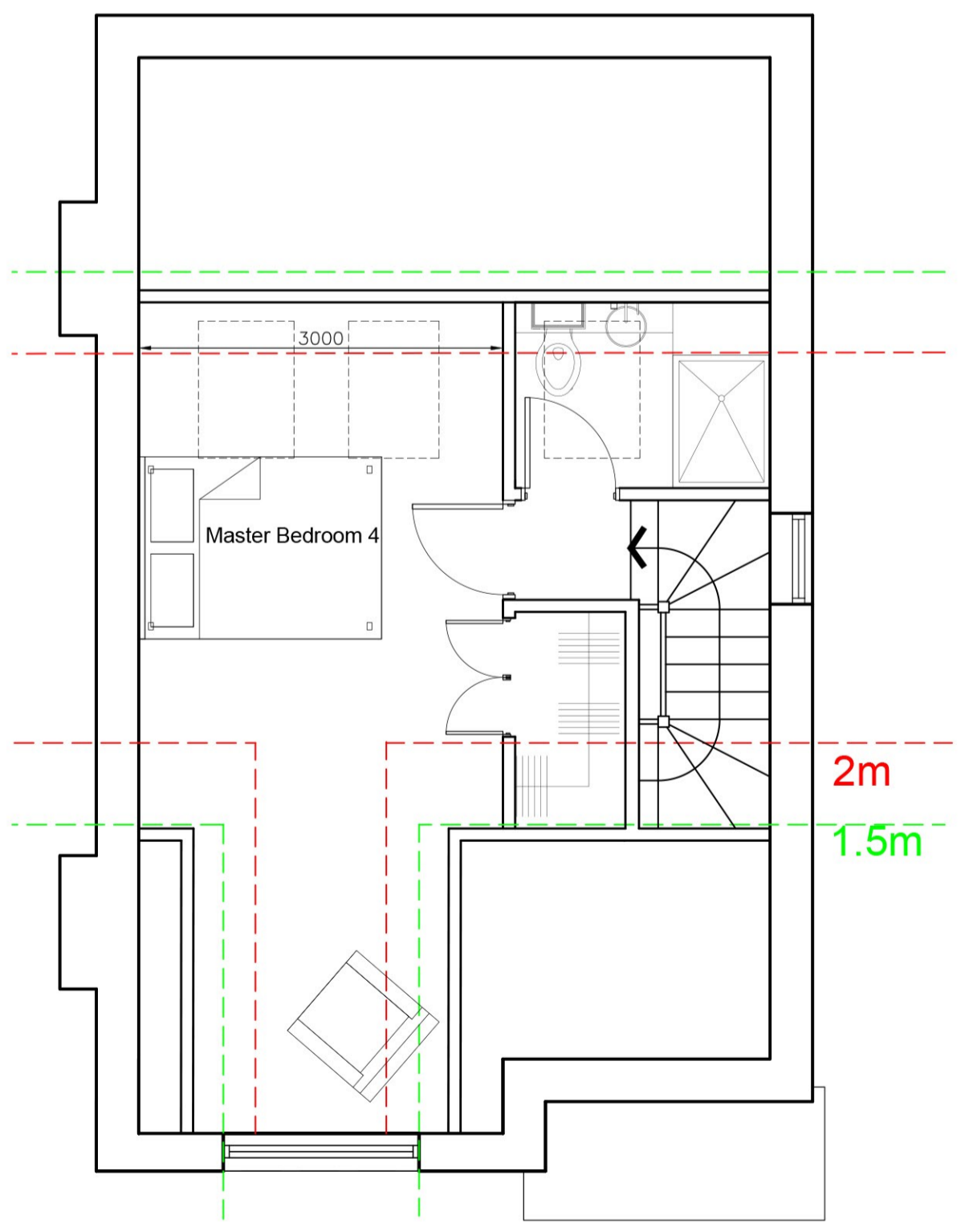
Front Elevation



Side Elevation



1st Floor



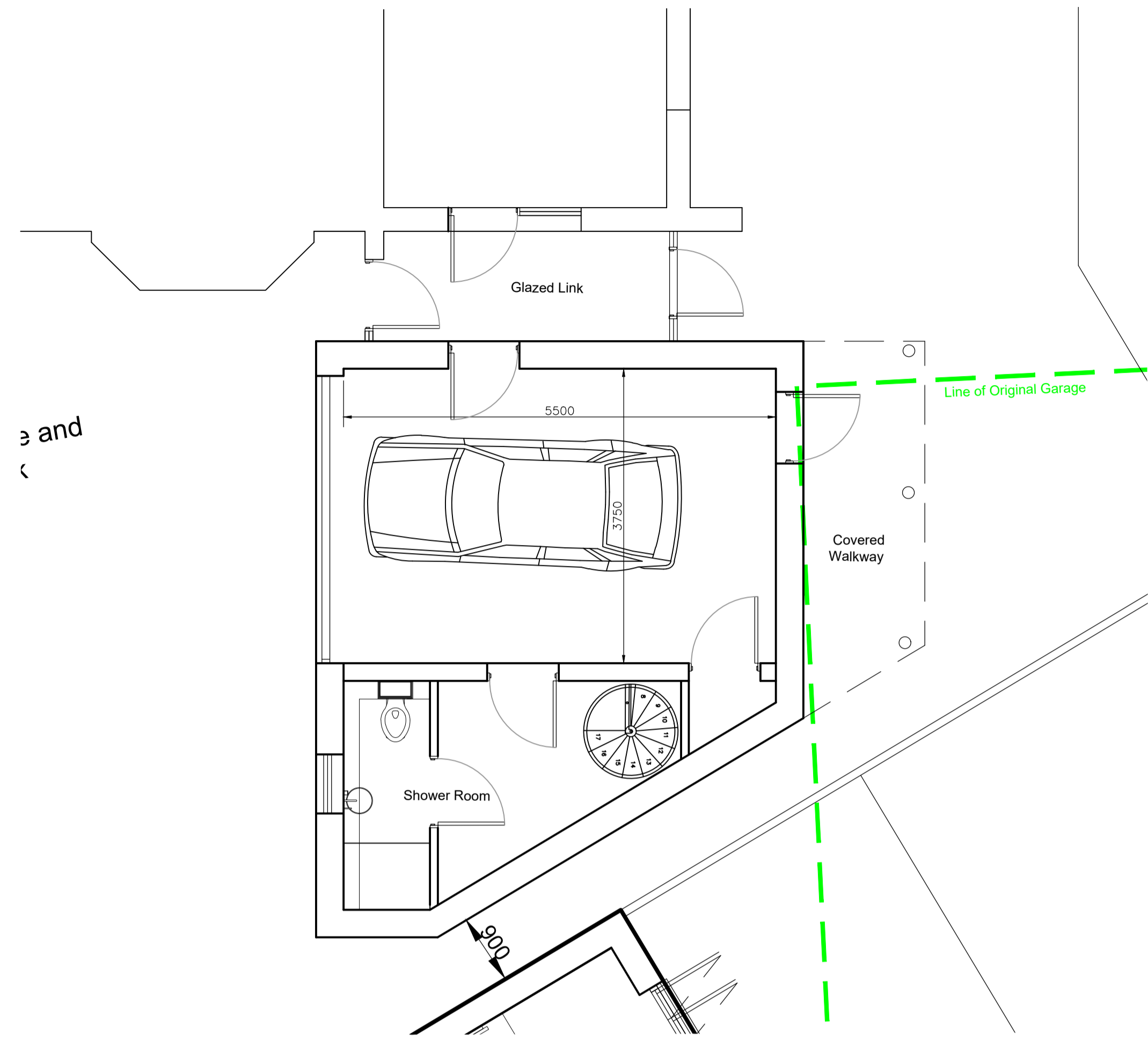
Attic Floor



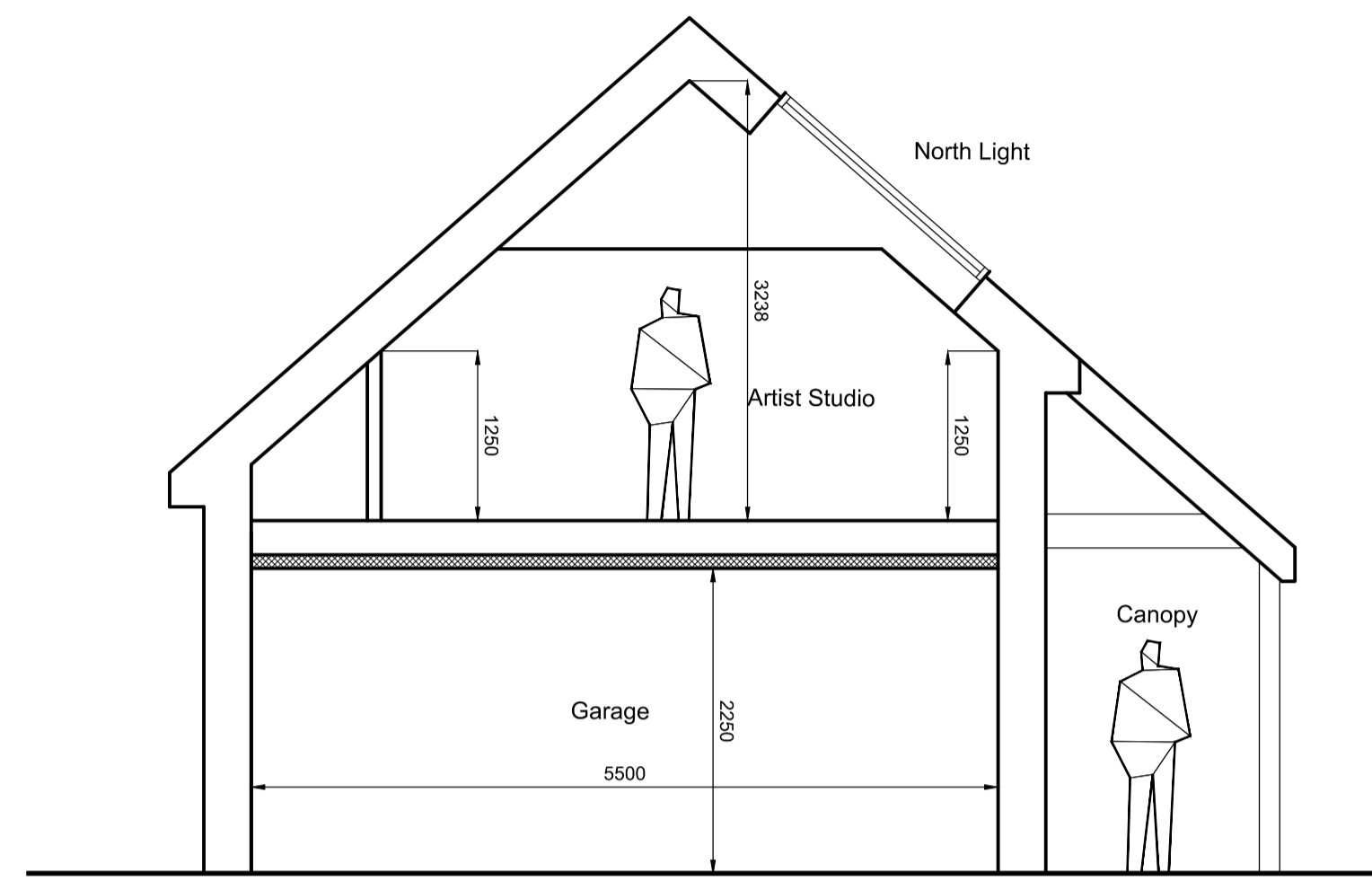
Rear Elevation



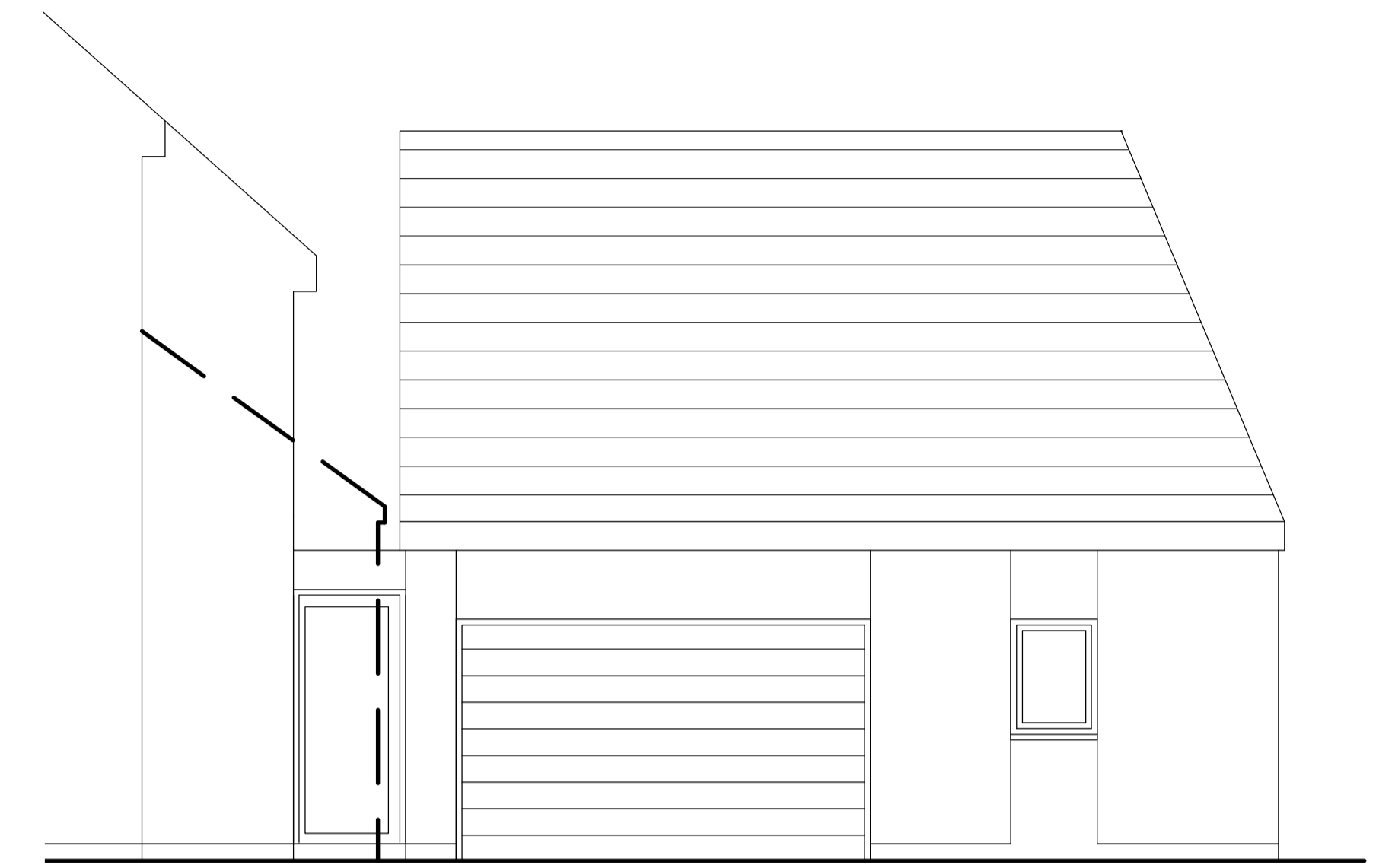
Side Elevation



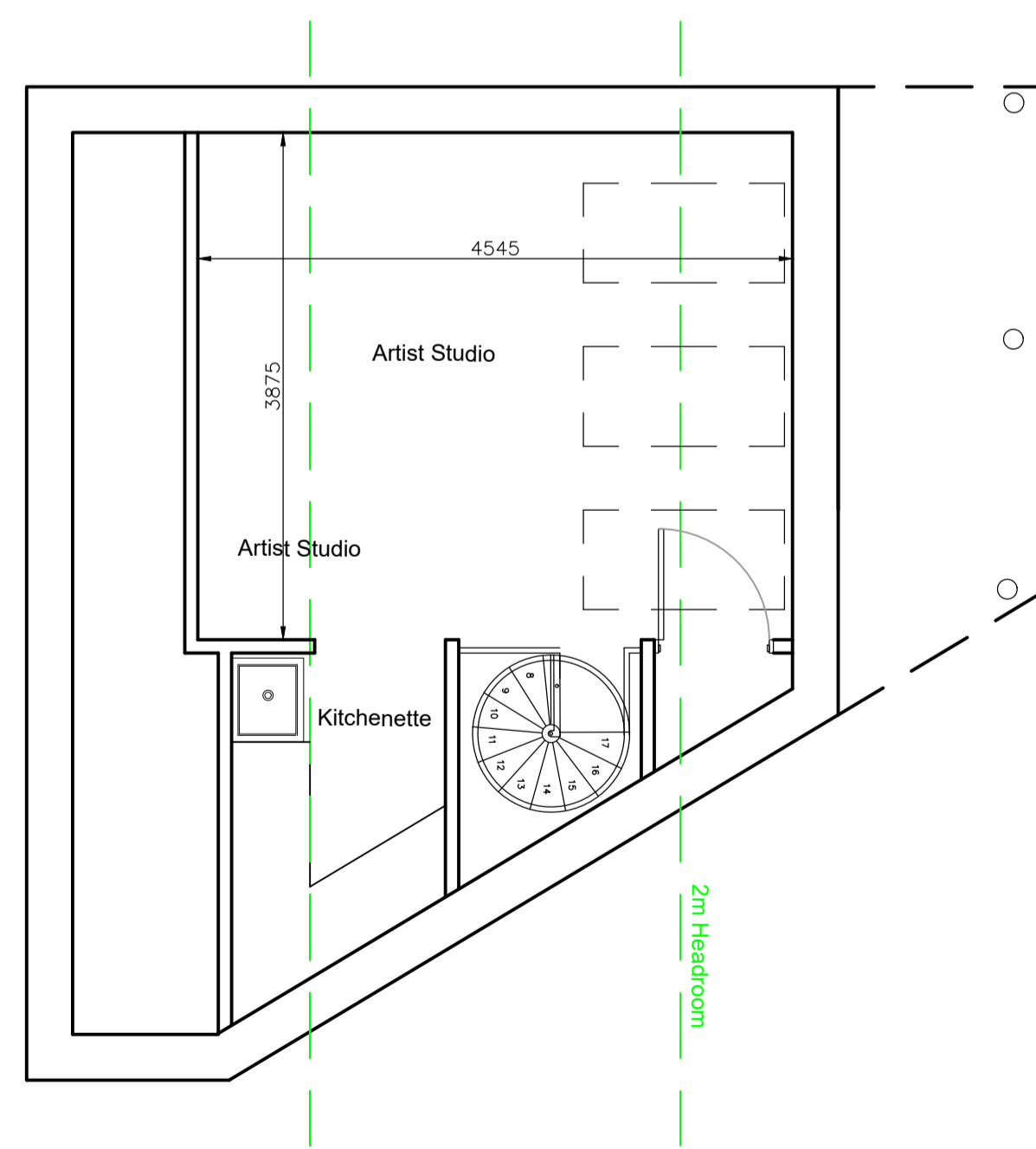
Ground Floor



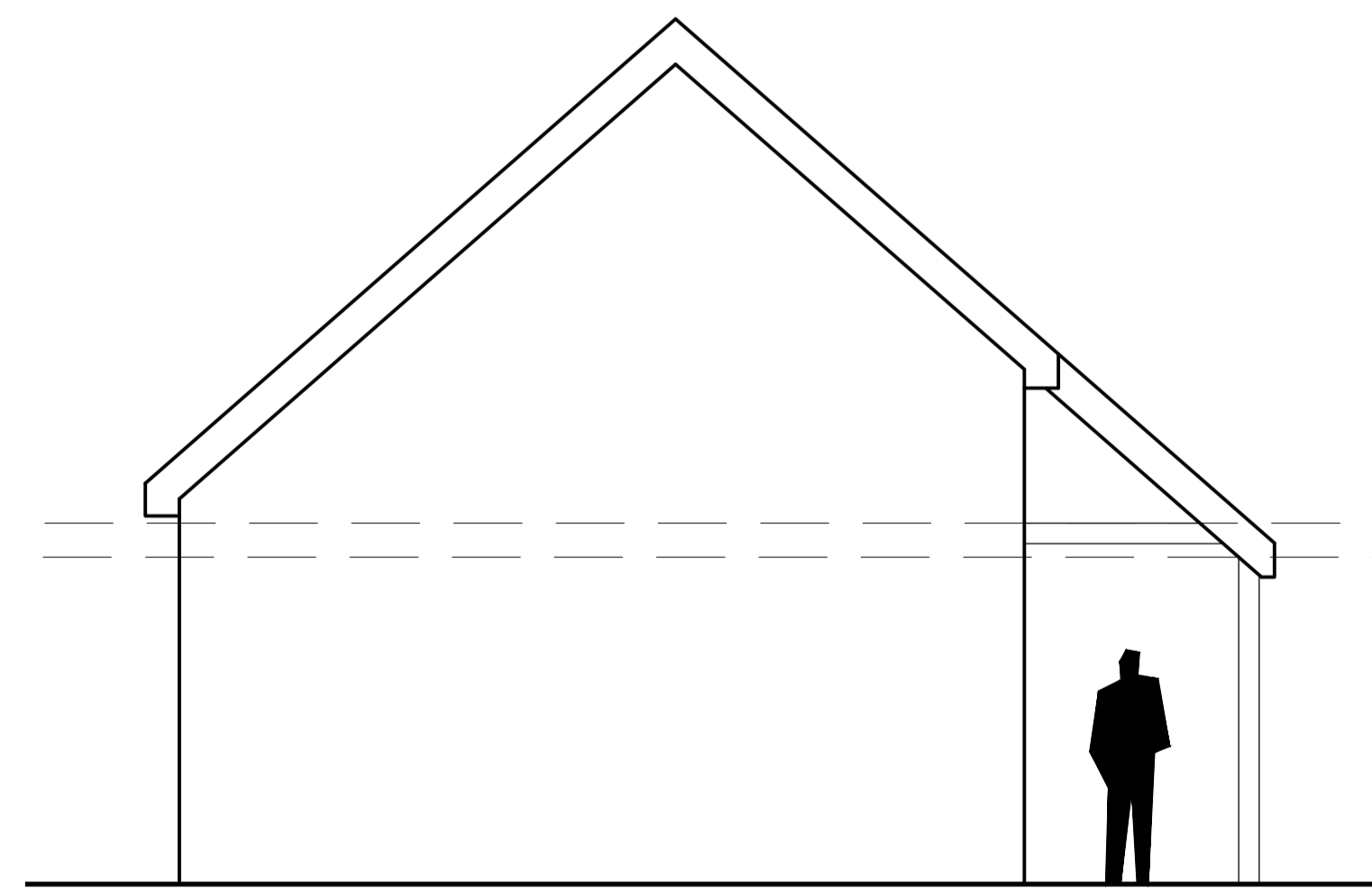
Section A-A



Front Elevation



1st Floor

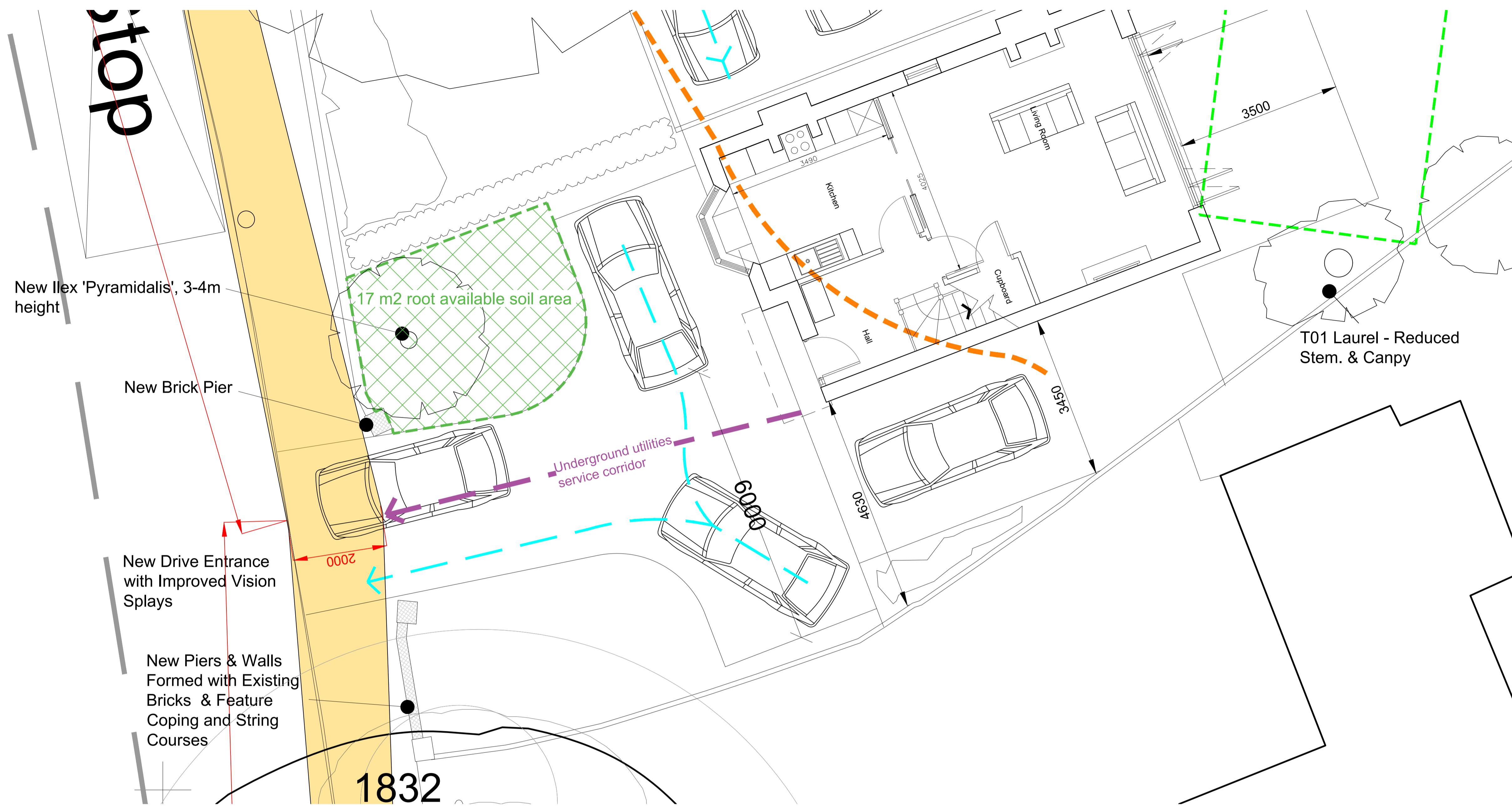


Side Elevation

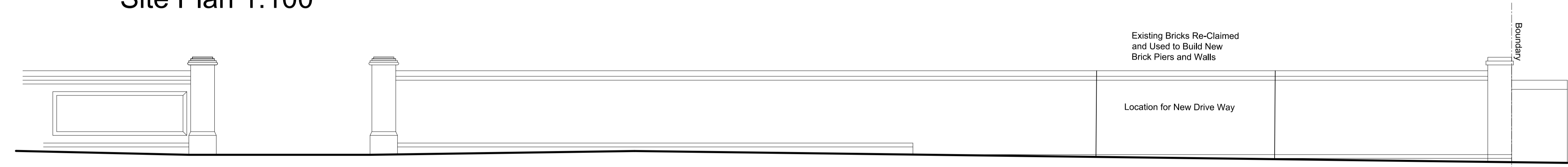


Rear Elevation

Date	Drawn	Check	Description	Rev.
16/12/2019	WS	---	Drawings amended and bay shown.	A
21/07/2020	WS	---	Ground floor areas removed, dwelling moved 500mm off boundary, driveway and landscaping amended.	B
08.03.22	---	---	New opening to existing boundary wall moved	C
01.04.22	---	---	Landscaping updated in line with AL0001 rev.L.	D



Site Plan 1:100

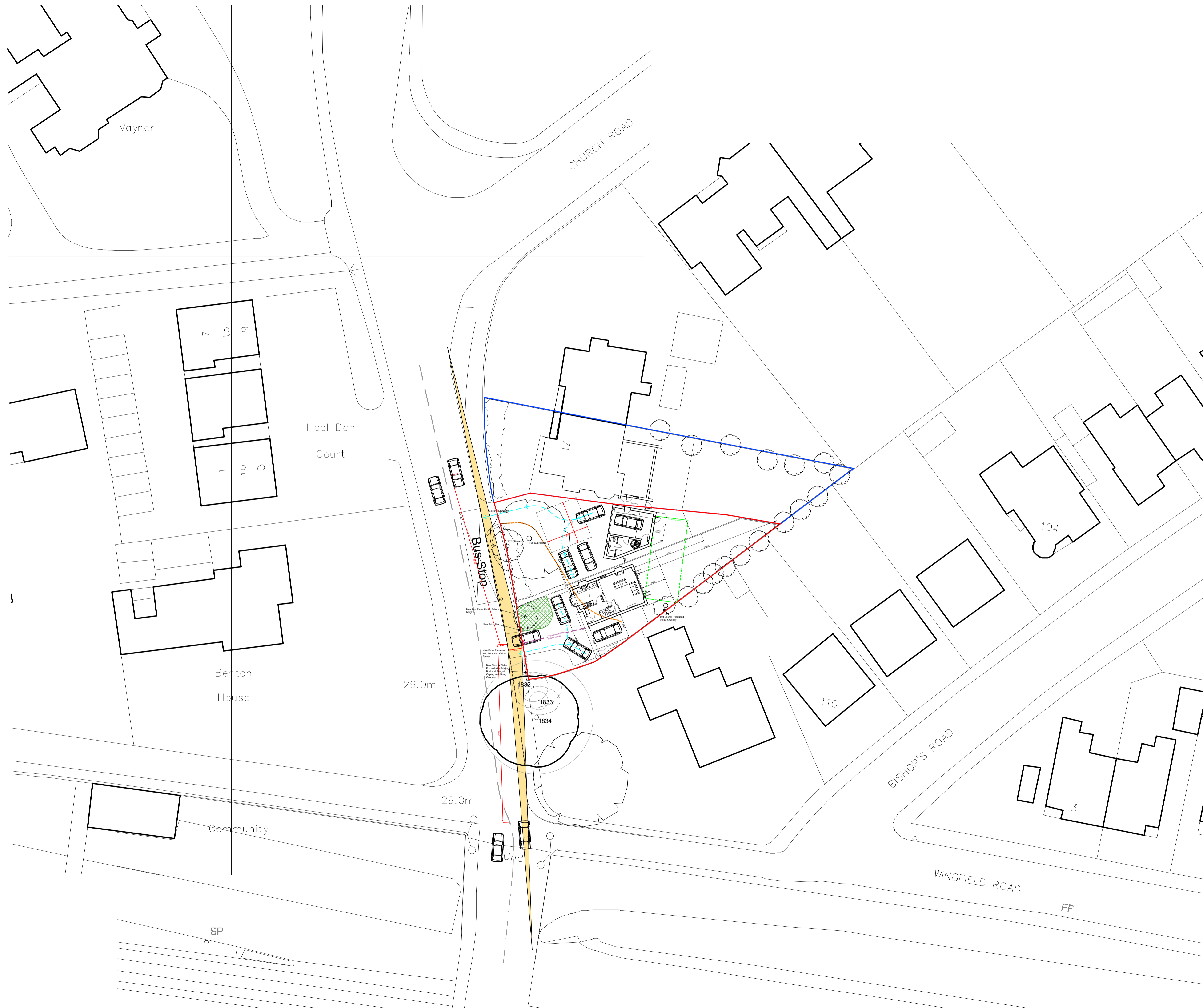



Existing Boundary Wall 1:50



Proposed Boundary Wall 1:50

71 Church Rd, Whitchurch		Job No.	17_034
Proposed New Dwelling		Dwg No.	AL(01)04
Dr Martin Andrew		Rev.	D
Title			
Boundary Wall Details			
Date	Drawn	Scale	
12/12/18	SJD	1:100 & 50 @ A3	
		Architects · Town planners Environmental & Urban design	
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 0PL</small>		<small>www.c.jarchitects.co.uk tel: 029 20452100</small>	



71 Church Rd, Whitchurch		Job No.	17_034
Proposed New Dwelling		Dwg No.	AL(01)07
Dr Martin Andrew		Rev.	B
Proposed Context Plan			
Date	Drawn	Scale	
26.01.21	WS	1:500 @ A3, 1:250 @ A1	
		Architects · Town planners Environmental & Urban design	
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 0PL</small>		<small>www.c-jarchitects.co.uk tel: 029 20452101</small>	

Implementation

1.0 GENERALLY

All work must be carried out in accordance with good horticultural practice and to the satisfaction of the supervising Landscape Architect.

1.1 SITE CLEARANCE (areas to be planted)

Reference should be made to the Arboricultural Impact Assessment. Where the site has not been wholly cleared, the Contractor shall cut, rake up and remove from areas to be planted all surface vegetation excepting those existing plants to be retained as shown on the drawings. Roots within planting areas outside of Root Protection Areas and buffer zones shall be grubbed up. The Contractor is to allow for the removal from Site of all rubbish, stones and weed growth.

1.2 EARTH FILL AND GRADING

When this is to form part of the works, the Contractor must firstly strip all site topsoil from the area to be filled or graded, making sure that all the existing vegetation and stones over 50mm have been removed and carted off site. Store the topsoil in uncompacted heaps not over 1.25m in height, taking care that it is not mixed with subsoil or deleterious material.

1.3 SUBSOILING AND TOPSOILING

Soil profiles for areas of new planting:

- Grass: 150mm depth topsoil over 150mm depth subsoil
- Shrubs and Hedges: 300mm depth topsoil over 300mm depth subsoil
- Trees: 300mm depth topsoil over 600mm depth subsoil
- Root Protection Areas: undisturbed

Any levels to be made up beneath topsoil depths shall be made up by using sub-soil fill. Topsoil and sub-soil shall each be deposited in separate spoil heaps. Deposited material shall be evenly consolidated, and lumps broken up. A suitable period is, if possible, to be permitted to elapse subsequent to soil being placed to allow for major settlement prior to finishing, grading, grassing and planting.

1.4 TIMING OF PLANTING

All tree and shrub planting, including containerised stock, shall be carried out between November and March but not during periods of frost, drought or cold drying winds. Planting to take place in first planting season after building and infrastructure works are completed.

1.5 PROTECTION OF SUPPLIED PLANTS

Plants shall be protected from root exposure and desiccation at all times, bare roots shall be heeled in properly and protected during the planting operation. Containerised plants shall be adequately watered whilst awaiting planting. Seeds shall be protected from harmful temperature/moisture fluctuations and vermin.

1.6 TREE SUPPLY, HANDLING AND PLANTING

Shall be accordance with BS8545:2014 (Trees: from nursery to independence in the landscape - recommendations). Staking (low-level) only required for standards and larger sizes. All ties to be biodegradable. Native trees and shrubs to be of local provenance.

1.7 SHRUB CULTIVATION, PREPARATION AND PLANTING.

The whole of the areas to be shrub planted outside of Root Protection Areas, are to be thoroughly cultivated to a fine tilth by hand or machine, where appropriate and broken up to not less than 300mm deep and thoroughly cleared of all extraneous matter. Fill depressions in ground surface with topsoil and lightly compact in 150mm layers until surface is level with surface of surrounding ground. Prior to planting, fork in a 50mm layer of composted bark, composted garden waste or mushroom compost. Bring the soil to an even tilth and necessary firmness. Dig holes to adequate size and depth to take rootball or root system. Pit diameter should exceed root spread by 300mm). Notch planting must be used within Root Protection Areas. Make sure that the root system is not damaged in any way and that the plant is at the same depth as it was at the nursery. Backfill is to be well worked in around the roots and properly firmed in.

1.8 SEEDING

The Contractor shall carry out seeding and maintenance of seeded areas in accordance with the seed supplier's guidance. Areas for seeding/turfing should be on firmed but not compacted topsoil of minimum 150mm depth that has been broken up to full depth (except within in Root Protection Areas). The surface should be reduced to a fine tilth and areas to be seeded/turfed should be free of weeds. Surface stones exceeding 10mm should be removed prior to seeding/turfing.

1.9 WATERING

At the time of planting and at such times as directed, all plants shall be thoroughly watered. Thoroughly water all plants immediately after planting but prior to mulching. Water as required to ensure establishment.

1.10 BARK MULCH

After planting spread bark mulch to a depth of 75mm over all tree and shrub and herbaceous planted areas. Medium grade bark mulch particle size 10-40mm, wood content <20%. Dust and fines minimum, durability 1-2 years, FSC certified, free from pests disease fungus weeds or any contaminant that is hazardous to human or animal life or detrimental for plant growth.

Aftercare

2.0 TREES

Newly planted specimen trees will be inspected monthly to check condition. Any tree stakes will be checked, and ties adjusted if required.

Pruning dead, dying or diseased wood : In accordance with good horticultural and arboricultural practice and with reference to BS3998:2010 Tree Works.

- Removing branches: Do not damage or tear the stem or bark.
- Wounds: Keep as small as possible and cut cleanly back to sound wood.
- Cutting: Make cuts above and sloping away from an outward facing healthy bud, angled so that water will not collect on cut area. Use sharp clean tools.

Where individual trees have died these will be replaced with similar species and size trees during the next planting available season.

Maintain levels of mulch material required to suppress weed growth at a depth of 75mm (25mm over rootballs), if necessary, topping up levels on an annual basis.

Weeds to be removed by hand.

Once the specimen trees have become sufficiently established and self-supporting, any tree stakes will be removed.

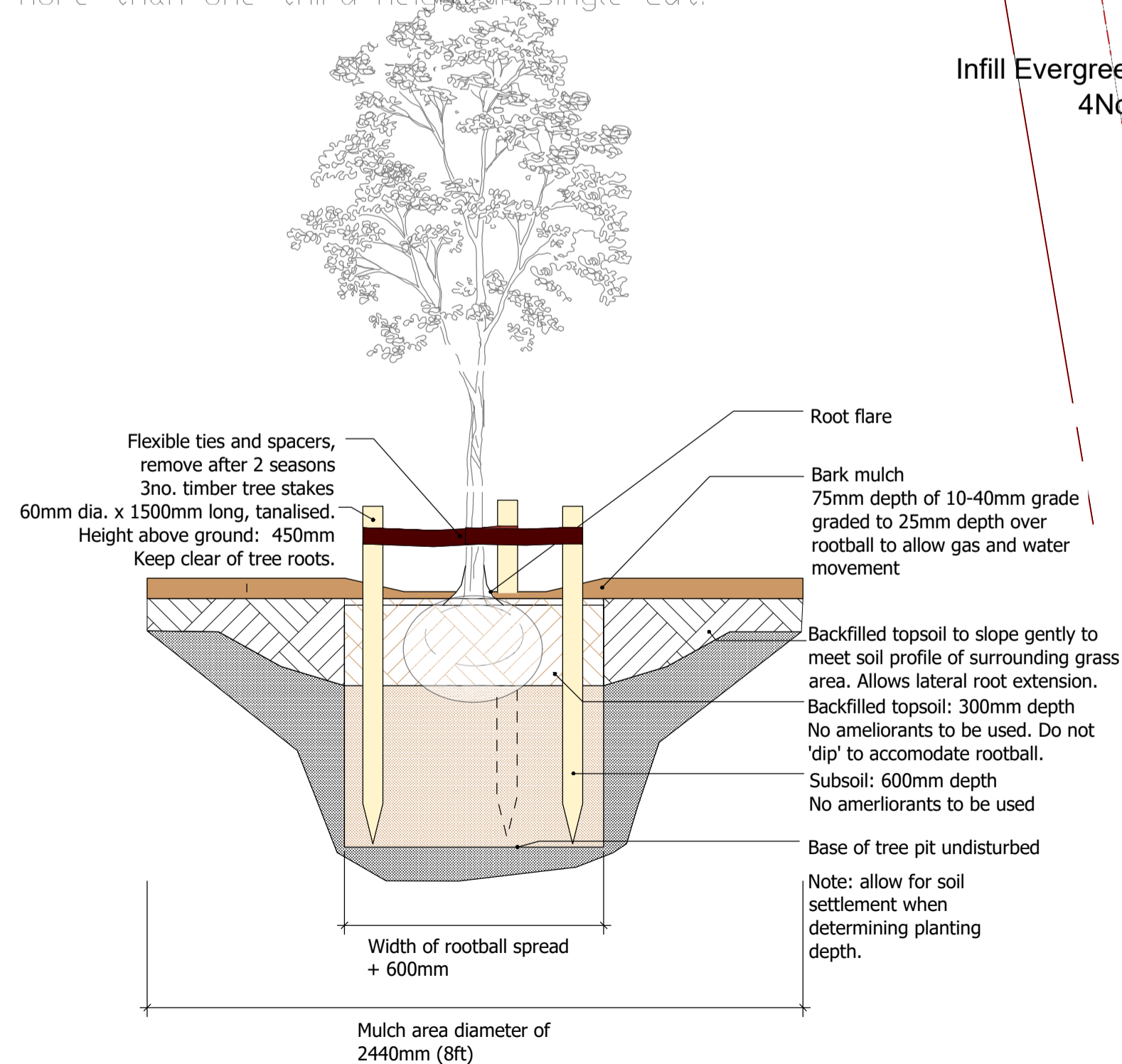
2.1 SHRUBS

Newly planted shrubs will be inspected monthly to check condition. Where individual shrubs have died these will be replaced with similar species and size shrubs during the next planting available season. Dead, dying and diseased wood to be removed as above.

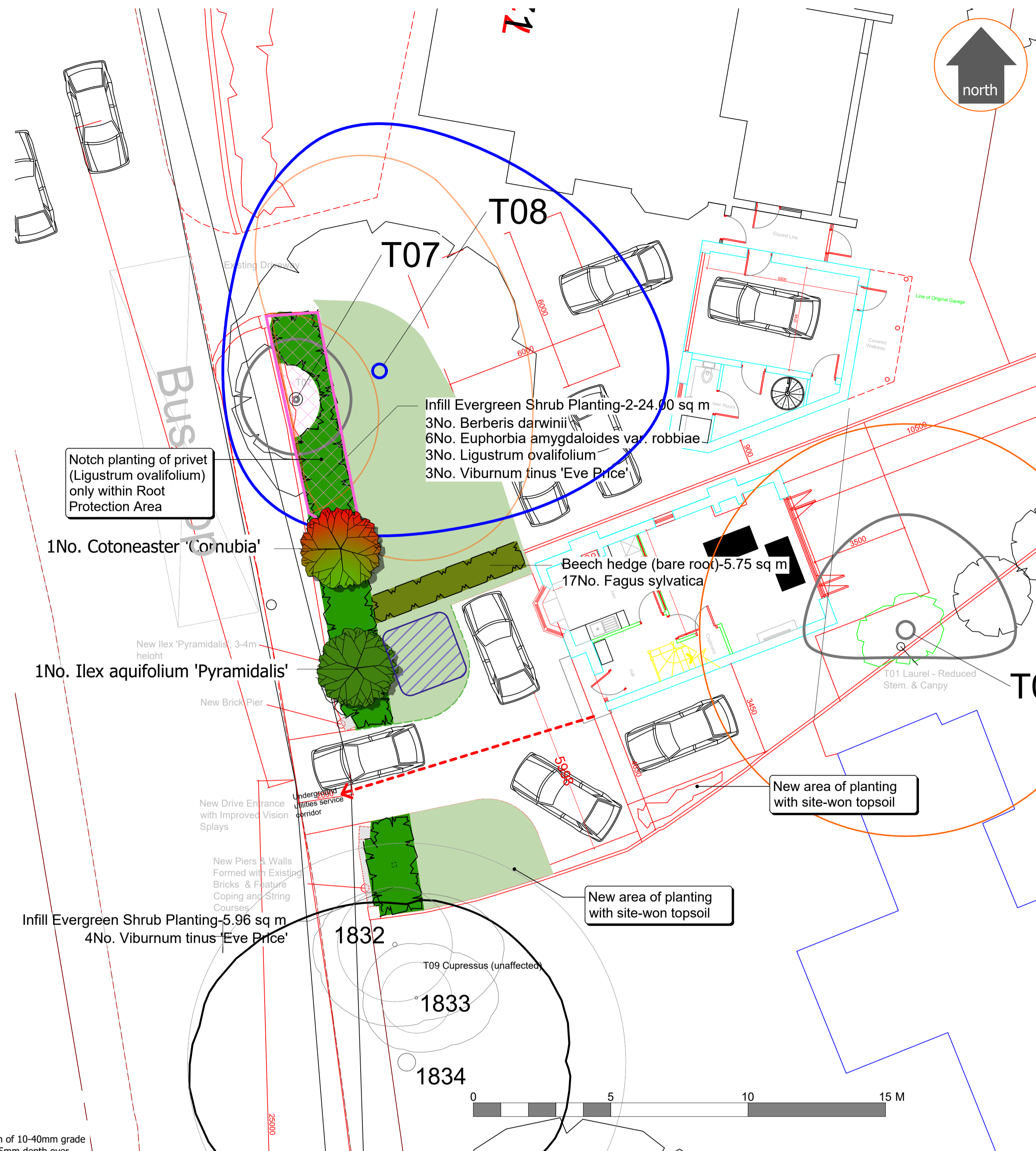
Maintain levels of mulch material required to suppress weed growth at a depth of 75mm (25mm over rootballs), if necessary, topping up levels on an annual basis. Weeds to be removed by hand.

2.2 LAWN AREAS

Minimise usage during first growing season
First cut: to 70mm height, do not remove more than one third height in single cut.
Subsequent cuts: to 20-40mm height, do not remove more than one third height in single cut.



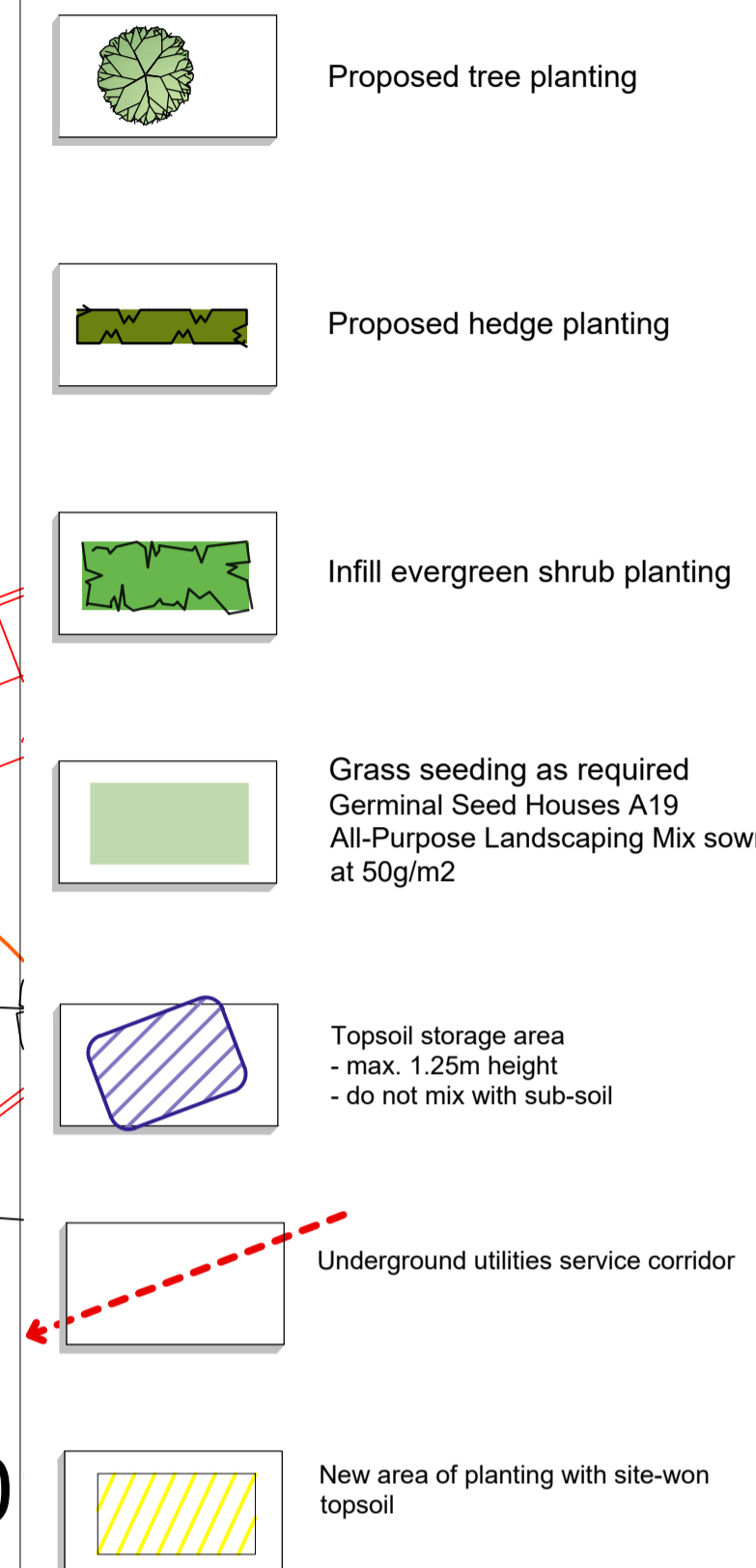
Tree Pit Detail: triple staking



notes:

- All dimensions to be checked and confirmed onsite prior to any works.
- Do not scale off this drawing.
- Any errors, omissions or discrepancies are to be brought to the attention of Lingard Farrow Styles immediately.

key:



lingard-farrow-styles
landscape architects - urban designers / environmental consultants

-	10/11/20	first issue
A	16/12/20	updated
B	05/03/21	updated
C	17/12/21	updated
D	01/04/22	updated

tel: 0333 4561132 fax: 01743 243602
email: info@lingardstyles.co.uk
9 College Hill, Shrewsbury Shropshire. SY1 1LZ
The Studio, Farm Lodge, Leighton, Welshpool, Powys. SY21 8HJ

client / project:

Dr Martin Andrew
Proposed New Dwelling
71 Church Rd, Whitchurch
Cardiff

title:

Landscape Scheme

dwg. no: 2956-002 rev: D scale: 1:100 @ A1 draw: tm chkd by: ps

DO NOT SCALE FROM DRAWING. © DRAWING IS COPYRIGHT



Front Elevation

Original - AL(01)02

- External Materials
- 1: Slate Roof
 - 2: Hanging Tile
 - 3: Cast - Stone Head
 - 4: UPVC Sash Windows
 - 5: Cast - Stone Cill
 - 6: Render
 - 7: Vertical Facing Brickwork Band with String Course Above
 - 8: Facing Brickwork
 - 9: Facing Brickwork Feature Plinth
 - 10: Conservation Roof Lights



Front Elevation

Current - AL(01)02 rev. C



Rear Elevation

Original - AL(01)02



Rear Elevation

Current - AL(01)02 rev. C

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 27/06/2022 and 01/07/2022

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
ADAMSDOWN								
22/00520/MNR	14/03/2022	George	FUL	PART OF LAND AT 180 NEWPORT ROAD, ROATH, CARDIFF, CF24 1DL	DEMOLITION OF GARAGE AND CONSTRUCTION OF TWO STOREY COACH HOUSE AT THE REAR OF THE GARDEN OF NO 180 NEWPORT ROAD	01/07/2022	Planning Permission be refused	Minor - Dwellings (C3)
BUTETOWN								
22/00626/MJR	21/03/2022	Urban Centric (Cardiff) Ltd	DOC	CRAWSHAY COURT, 6 CURRAN ROAD, BUTETOWN, CARDIFF, CF10 5TG	DISCHARGE OF CONDITION 6 (HIGHWAY PHOTOGRAPHIC SURVEY) OF 19/01930/MJR	01/07/2022	Full Discharge of Condition	Discharge of Conditions
22/00660/MNR	11/04/2022	Ty Krishna Cymru	NMA	EMLYN HOUSE, 4 DOCK CHAMBERS, BUTE STREET, BUTETOWN, CARDIFF, CF10 5AG	ALTER WORDING OF CONDITIONS 12 (CEMP), 14 (DRAINAGE SCHEME) AND 16 (GROUND GAS PROTECTION) AND CHANGE THE POINT AT WHICH THESE CONDITIONS ARE TRIGGERED - PREVIOUSLY APPROVED UNDER 19/03053/MNR	01/07/2022	Permission be granted	Non Material Amendment
22/01149/MJR	31/05/2022	Bellway Homes Limited (Wales)	NMA	QUAYSIDE, BUTE CRESCENT, CARDIFF BAY, CARDIFF, CF10 5BX	THE REPLACEMENT OF A SECTION OF TIMBER CLADDING TO THE EAST END OF THE NORTH ELEVATION WITH CEDRAL CLICK CLADDING SYSTEM - PREVIOUSLY APPROVED UNDER 09/01490/C	29/06/2022	Permission be granted	Non Material Amendment

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
21/01859/MJR	29/07/2021	c/o agent	DOC	CLARENCE HOUSE, CLARENCE ROAD, BUTETOWN, CARDIFF, CF10 5FB	DISCHARGE OF CONDITIONS 3 (CYCLE PARKING SPACES), 6 (MATERIALS) AND 8 (MEANS OF ENCLOSURE) OF 20/00908/MJR	01/07/2022	Full Discharge of Condition	Discharge of Conditions

21/02462/MJR	20/10/2021	Angelo Gordan / Ridgeback Group	VAR	ANCHOR INDUSTRIAL ESTATE, DUMBALLS ROAD, BUTETOWN, CARDIFF, CF10 5FF	APPLICATION UNDER SECTION 73 TO VARY CONDITION 2 OF PLANNING PERMISSION 20/01543/MJR TO ALLOW THE REPLACEMENT OF APPROVED PLANS	01/07/2022	Permission be granted	Renewals and Variation of Conditions
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CANTON

22/00226/MNR	04/02/2022	Ely Mill Development Company	DOC	PHASE D, FORMER PAPER MILL ARJO WIGGINS, OLD MILL BUSINESS PARK, SANATORIUM ROAD, CANTON, CARDIFF	DISCHARGE OF CONDITION 21 (SURFACE WATER DRAINAGE WORKS) OF 18/01190/MNR	01/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions
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22/01242/DCH	14/06/2022	Allan	CLD	3 PEMBROKE ROAD, CANTON, CARDIFF, CF5 1QN	PROPOSED REAR EXTENSION TO EXISTING PROPERTY WITH ASSOCIATED WORKS	29/06/2022	Permission be granted	Other Consent Types
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22/00131/DCH	24/02/2022	GALEA	HSE	13 LECKWITH CLOSE, CANTON, CARDIFF, CF11 8AF	GROUND & FIRST FLOOR SIDE EXTENSION	27/06/2022	Permission be granted	Householder
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21/03012/DCH	28/03/2022	Thomas	HSE	34 AUBREY AVENUE, CANTON, CARDIFF, CF5 1AQ	SINGLE STOREY SIDE/REAR EXTENSION, LOFT CONVERSION INCLUDING A REAR DORMER, REDUCING THE SIZE OF THE GARAGE AND AMENDING ROOF FROM A PITCHED TO A FLAT ROOF	28/06/2022	Permission be granted	Householder
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22/00924/DCH	29/04/2022	Caseras	HSE	9 THOMPSON AVENUE, CANTON, CARDIFF, CF5 1EX	ERECTION OF SINGLE STOREY, REAR AND SIDE EXTENSION	28/06/2022	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
21/02720/MNR	02/12/2021	MUNIR	FUL	28 MAINDY ROAD, CATHAYS, CARDIFF, CF24 4HP	CONVERSION OF HOUSE TO CLASS C4 HOUSE IN MULTIPLE OCCUPATION WITH GROUND & FIRST FLOOR EXTENSION AND REAR DORMER	28/06/2022	Permission be granted	Minor - Dwellings (C3)
22/00548/MJR	11/03/2022	GT Guildford Crescent Limited, Rappsons Trust Limited, Edmee Properties Limited,	DOC	SITE OF 1-6 GUILDFORD CRESCENT, CITY CENTRE, CARDIFF	DISCHARGE OF CONDITIONS 7 (CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN) AND 8 (CONSTRUCTION LOGISTICS PLAN) OF 21/01682/MJR	29/06/2022	Full Discharge of Condition	Discharge of Conditions
22/00447/DCH	15/03/2022	HARRIS	CLD	75 CWMDARE STREET, CATHAYS, CARDIFF, CF24 4J	REAR AND SIDE DORMER EXTENSION	29/06/2022	Permission be granted	Other Consent Types
22/00947/MJR	06/05/2022	GT Guildford Crescent Limited, Rappsons Trust Limited, Edmee Properties Limited,	NMA	SITE OF 1-6 GUILDFORD CRESCENT, CITY CENTRE, CARDIFF	REWORDING OF CONDITIONS 5 AND 6 - PREVIOUSLY APPROVED UNDER 21/01682/MJR	29/06/2022	Permission be granted	Non Material Amendment
21/02819/MNR	03/12/2021	JCDecaux UK	FUL	PAVEMENT OUTSIDE 6-7 ST JOHN STREET, CARDIFF	THE INSTALLATION OF AN INTERACTIVE COMMUNICATION HUB UNIT WITH INTEGRAL ADVERTISEMENT DISPLAY, DEFIBRILLATOR AND CITY WAYFINDING	27/06/2022	Planning Permission be refused	Other Consent Types
A/21/00168/MNR	03/12/2021	JCDecaux UK	ADV	PAVEMENT OUTSIDE 6-7 ST JOHN STREET, CARDIFF	SINGLE SIDED ILLUMINATED 6 SHEET LCD DISPLAY FORMING PART OF THE COMMUNICATION HUB UNIT	27/06/2022	Planning Permission be refused	Advertisements

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
21/02820/MNR	03/12/2021	JCDecaux UK	FUL	PAVEMENT OUTSIDE NO. 1 ST MARY STREET, CATHAYS CARDIFF	THE INSTALLATION OF AN INTERACTIVE COMMUNICATION HUB UNIT WITH INTEGRAL ADVERTISEMENT DISPLAY, DEFIBRILLATOR AND CITY WAYFINDING	27/06/2022	Planning Permission be refused	Other Consent Types
A/21/00169/MNR	03/12/2021	JCDecaux UK	ADV	PAVEMENT OUTSIDE NO. 1 ST MARY STREET, CATHAYS CARDIFF	SINGLE SIDED ILLUMINATED 6 SHEET LCD DISPLAY FORMING PART OF THE COMMUNICATION HUB UNIT	27/06/2022	Planning Permission be refused	Advertisements
21/02821/MNR	03/12/2021	JCDecaux UK	FUL	PAVEMENT OUTSIDE 112, ST MARY STREET, CITY CENTRE, CARDIFF	THE INSTALLATION OF AN INTERACTIVE COMMUNICATION HUB UNIT WITH INTEGRAL ADVERTISEMENT DISPLAY, DEFIBRILLATOR AND CITY WAYFINDING	27/06/2022	Planning Permission be refused	Other Consent Types
A/21/00170/MNR	03/12/2021	JCDecaux UK	ADV	PAVEMENT OUTSIDE 112, ST MARY STREET, CITY CENTRE, CARDIFF	SINGLE SIDED ILLUMINATED 6 SHEET LCD DISPLAY FORMING PART OF THE COMMUNICATION HUB UNIT	27/06/2022	Planning Permission be refused	Advertisements
21/02822/MNR	03/12/2021	JCDecaux UK	FUL	PAVEMENT OUTSIDE 1 HILL STREET, CITY CENTRE. CARDIFF	THE INSTALLATION OF AN INTERACTIVE COMMUNICATION HUB UNIT WITH INTEGRAL ADVERTISEMENT DISPLAY, DEFIBRILLATOR AND CITY WAYFINDING	27/06/2022	Planning Permission be refused	Other Consent Types
A/21/00171/MNR	03/12/2021	JCDecaux UK	ADV	PAVEMENT OUTSIDE 1 HILL STREET, CITY CENTRE. CARDIFF	SINGLE SIDED ILLUMINATED 6 SHEET LCD DISPLAY FORMING PART OF THE COMMUNICATION HUB UNIT	27/06/2022	Planning Permission be refused	Advertisements

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
A/22/00036/MNR	30/05/2022	Barnwood Ltd	ADV	2-3 WORKING STREET, CITY CENTRE, CARDIFF, CF10 1GN	CITY NEW SIGNAGE	29/06/2022	Permission be granted	Advertisements
LBC/22/00023/MNR	12/04/2022	Mitchells and Butlers Plc	LBC	THE CORNER HOUSE, 25 CAROLINE STREET, CITY CENTRE, CARDIFF, CF10 1FF	VARIOUS MINOR EXTERNAL ALTERATIONS INCLUDING REPLACEMENT AWNINGS	01/07/2022	Permission be granted	Listed Buildings
LBC/22/00029/MNR	09/05/2022	Select Service Partner	LBC	M&S SIMPLY FOOD, CENTRAL SQUARE, CITY CENTRE, CARDIFF, CF10 1EP	PROPOSED REFURBISHMENT OF THE EXISTING M&S RETAIL UNIT INCLUDING INTERNAL WALL DECORATIONS AND FEATURES, MINOR EQUIPMENT ALTERATIONS AND NEW SIGNAGE TOGETHER WITH NEW EXTERNAL VINYL SIGNAGE TO REPLACE AND UPDATE THE EXISTING SIGNAGE TOGETHER WITH THE DECORATION OF THE EXISTING GREY WINDOW AND DOOR FRAMES CHANGING THESE TO BLACK	01/07/2022	Permission be granted	Listed Buildings

CREIGAU/ST FAGANS

22/00442/DCH	01/03/2022	Meades	HSE	13 LLYS CARADOG, CREIGIAU, CARDIFF, CF15 9JP	TWO STOREY SIDE EXTENSION	27/06/2022	Planning Permission be refused	Householder
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CYNCOED

22/00874/DCH	28/04/2022	Al-Jarrah	HSE	73 HAMPTON CRESCENT EAST, CYNCOED, CARDIFF, CF23 6RG	SINGLE STOREY REAR EXTENSION	28/06/2022	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
PRAP/22/00027/M09	05/2022	CK Hutchison Networks (UK) Ltd	PAT	LAND ON HUNTERS RIDGE, LAKESIDE	PROPOSED TELECOMMUNICATIONS INSTALLATION: PROPOSED 15M HIGH 'SLIM LINE' PHASE 8 MONOPOLE C/W WRAPAROUND CABINET AT BASE, 3NO. ADDITIONAL ANCILLARY EQUIPMENT CABINETS AND ASSOCIATED ANCILLARY WORKS	01/07/2022	Permission Required	Other Consent Types

22/00040/DCH	10/01/2022	Shwana	HSE	81 LAKE ROAD WEST, ROATH PARK, CARDIFF, CF23 5PH	SINGLE STOREY SIDE EXTENSION AND DORMER ROOF EXTENSION	01/07/2022	Planning Permission be refused	Householder
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22/01176/DCH	08/06/2022	Austin	NMH	39 RHYD Y PENAU ROAD, CYNCOED, CARDIFF, CF23 6PX	AMENDED ROOF DESIGN TO EXTENSION - PREVIOUSLY APPROVED UNDER 22/00097/DCH	01/07/2022	Permission be granted	Non Material Householder
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FAIRWATER

22/00977/DCH	13/05/2022	Karol	HSE	52 GORSE PLACE, FAIRWATER, CARDIFF, CF5 3PD	RETENTION OF TWO STOREY SIDE AND REAR EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS	28/06/2022	Permission be granted	Householder
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22/00716/DCH	04/04/2022	Davies	HSE	13 WELLWRIGHT ROAD, FAIRWATER, CARDIFF, CF5 3EB	TWO STOREY AND SINGLE STOREY REAR EXTENSION, REAR DORMER LOFT CONVERSION AND CONVERTING EXISTING DETACHED GARAGE TO AN OFFICE	28/06/2022	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00251/MNR	04/04/2022	Rees	OUT	LAND AT SENTINEL COURT, FAIRWATER, CARDIFF	CONSTRUCTION OF A ONE AND A HALF STOREY DWELLING WITH APPEARANCE AND LANDSCAPING BEING RESERVED	28/06/2022	Planning Permission be refused	Minor - Dwellings (C3)

GABALFA

22/00092/DCH	17/01/2022	Dixon	HSE	9 PORTHKERRY PLACE, MYNACHDY, CARDIFF, CF14 3EE	TWO STOREY REAR EXTENSIONS	27/06/2022	Permission be granted	Householder
22/00153/MNR	31/01/2022	J McNIFF	FUL	COACH HOUSE REAR OF 2 SOBERTON AVENUE, GABALFA, CARDIFF, CF14 3NJ	RETENTION OF CONVERSION OF COACH HOUSE INTO ONE BEDROOM FLAT WITH SINGLE STOREY EXTENSION AND EXTERNAL ALTERATIONS	27/06/2022	Planning Permission be refused	Minor - Dwellings (C3)
22/00386/DCH	22/02/2022	Winter	HSE	27 EDINGTON AVENUE, GABALFA, CARDIFF, CF14 3QF	DEMOLITION OF EXISTING REAR GROUND FLOOR LEAN-TO KITCHEN AREA; AND CONSTRUCTION OF TWO STOREY REAR EXTENSION WITH ASSOCIATED WORKS	01/07/2022	Planning Permission be refused	Householder
22/00379/MNR	02/03/2022	Co-op Estates	FUL	25-27 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3JN	INSTALLATION OF EXTERNAL REFRIGERATION PLANT	01/07/2022	Permission be granted	Other Consent Types

GRANGETOWN

21/01957/MNR	04/08/2021	BKUK Group Ltd	DOC	UNIT 1, DUNLEAVY DRIVE, GRANGETOWN, CARDIFF, CF11 0SR	DISCHARGE OF CONDITION 5 (SOFT LANDSCAPING) OF 21/00399/MNR	01/07/2022	Full Discharge of Condition	Discharge of Conditions
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
PRAP/22/00021/MH	04/05/2022	CK Hutchison Networks (UK) Ltd	PAT	FOOTPATH ON SLOPER ROAD ADJACENT TO PENARTH ROAD, LECKWITH	PROPOSED 5G TELECOMS INSTALLATION 16M HIGH 'SLIM LINE' PHASE 8 H3G STREET POLE C/W WRAP AROUND CABINET AND 3NO. CABINETS WITH ANCILLARY WORKS	27/06/2022	Permission Required	Other Consent Types

HEATH

22/00886/DCH	05/05/2022	Kelly	HSE	22 HOMELANDS ROAD, BIRCHGROVE, CARDIFF, CF14 1UJ	DEMOLITION OF EXISTING GARAGE AND THE CONSTRUCTION OF A TWO STOREY SIDE EXTENSION WITH LOFT CONVERSION INCLUDING DORMER EXTENSIONS	29/06/2022	Planning Permission be refused	Householder
22/01090/DCH	20/05/2022	Haboubi	HSE	18 KING GEORGE V DRIVE WEST, HEATH, CARDIFF, CF14 4ED	SINGLE STOREY CONSERVATORY TO REAR ELEVATION	29/06/2022	Permission be granted	Householder
22/01045/DCH	23/05/2022	Parramore	HSE	19 PEDAIR ERW ROAD, BIRCHGROVE, CARDIFF, CF14 4NU	REMOVAL OF EXISTING GARAGE AND CONSTRUCTION OF NEW GARAGE	01/07/2022	Permission be granted	Householder

LISVANE

22/01219/MJR	09/06/2022	Carter Lauren Construction Ltd	DOC	PLOT 1, TY DRAW ROAD, CARDIFF	DISCHARGE OF CONDITION 3 (MATERIALS OF 20/01863/MJR	01/07/2022	Full Discharge of Condition	Discharge of Conditions
22/00941/DCH	30/05/2022	Griffiths	NMH	2 CHURCH CLOSE, LISVANE, CARDIFF, CF14 0SL	FLAT ROOF IN LIEU OF PITCHED ROOF TO SINGLE STOREY ELEMENT AND MINOR INCREASE OF 220MM IN WIDTH TO SIDE EXTENSION - PREVIOUSLY APPROVED UNDER 21/02770/DCH	29/06/2022	Permission be granted	Non Material Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00906/DCH	27/04/2022	Munir	HSE	18 PLAS Y DELYN, LISVANE, CARDIFF, CF14 0ST	TWO STOREY SIDE EXTENSION, FENESTRATION CHANGES TO REAR ELEVATION OF EXISTING PROPERTY; AND ASSOCIATED EXTERNAL WORKS	01/07/2022	Permission be granted	Householder
LLANDAFF								
22/00940/MNR	03/05/2022	Taylor Wimpey	FUL	BBC WALES, BROADCASTING HOUSE, LLANTRISANT ROAD, LLANDAFF, CARDIFF, CF5 2YQ	ERECTION OF 1NO. SUBSTATION	01/07/2022	Permission be granted	Other Consent Types
PRAP/22/00025/MNR	03/05/2022	CK Hutchison Networks (UK) Ltd	PAT	LAND AT JUNCTION OF FAIRWATER ROAD AND PWLLMELIN ROAD, LLANDAFF	PROPOSED TELECOMMUNICATIONS INSTALLATION: PROPOSED 15M HIGH 'SLIM LINE' PHASE 8 MONOPOLE C/W WRAPAROUND CABINET AT BASE, 3NO. ADDITIONAL ANCILLARY EQUIPMENT CABINETS AND ASSOCIATED ANCILLARY WORKS	01/07/2022	Permission Required	Other Consent Types
22/00763/DCH	11/04/2022	Caib a Rhaw	CLD	3 BISHOPS WALK, LLANDAFF TRAWSNEWID Y TO I FOD CARDIFF, CF5 2HA	YN DO TALCEN (GABLE END) YN HYTRACH NA THALCENDO (HIPPED). ADEILADU DORMER YN Y LLOFFT CONVERSION OF ROOF TO GABLE END RATHER THAN HIPPED. CONSTRUCTION OF A DORMER IN THE LOFT	01/07/2022	Permission be granted	Other Consent Types

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
21/02773/DCH	29/11/2021	Bridgman	HSE	58 RIVERSDALE, LLANDAFF, CARDIFF, CF5 2QL	TWO STOREY REAR AND SIDE EXTENSION, PART SINGLE STOREY REAR EXTENSION AND FRONT PORCH EXTENSION	01/07/2022	Permission be granted	Householder

LLANDAFF NORTH

20/02217/MNR	20/11/2020	THOMAS	FUL	PART OF LAND AT 54 STATION ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FF	ERECTION OF NEW ATTACHED DEVELOPMENT TO FORM 1 NO FLAT	28/06/2022	Planning Permission be refused	Minor - Dwellings (C3)
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LLANISHEN

22/00773/MNR	21/04/2022	Specsavers	FUL	UNIT 1A AND 1B, TY GLAS RETAIL PARK, PARC TY GLAS LLANISHEN, CARDIFF, CF14 5DU	NEW SHOPFRONT	29/06/2022	Permission be granted	Other Consent Types
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22/00650/DCH	05/04/2022	Ford	HSE	40 SOUTH RISE, LLANISHEN, CARDIFF, CF14 0RH	SINGLE STOREY REAR EXTENSION	01/07/2022	Permission be granted	Householder
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A/22/00025/MNR	13/05/2022	Signscope Ltd	ADV	UNIT 1A AND 1B, TY GLAS RETAIL PARK, PARC TY GLAS LLANISHEN, CARDIFF, CF14 5DU	NEW SIGNS	01/07/2022	Permission be granted	Advertisements
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PENTWYN

22/00942/DCH	04/05/2022	THOMAS	HSE	180 BRYNHEULOG, PENTWYN, CARDIFF, CF23 7JF	INSTALL CONSERVATORY EXTENSION TO THE REAR OF THE PROPERTY	01/07/2022	Permission be granted	Householder
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21/02352/MNR	19/10/2021	Aldi Stores Ltd.	REM	ALDI FOODSTORE LTD, DARTINGTON DRIVE, PONTPRENNAU, CARDIFF, CF23 8SQ	REMOVAL OF CONDITION 5 OF 14/01454/DCO TO ALLOW FOR UNRESTRICTED DELIVER HOURS	30/06/2022	Permission be granted	Renewals and Variation of Conditions
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
PRAP/22/00028/M19	05/2022	CK Hutchison Networks (UK) Ltd	PAT	LAND AT JUNCTION OF CIRCLE WAY WEST AND AEL-Y-BRYN, LLANEDEYRN	PROPOSED 5G TELECOMS INSTALLATION 18M HIGH 'SLIM LINE' PHASE 8 H3G STREET POLE C/W WRAP AROUND CABINET AND 3NO. CABINETS WITH ANCILLARY WORKS	28/06/2022	Permission Required	Other Consent Types

PENTYRCH AND ST FAGANS

22/00962/DCH	06/05/2022	Davies	HSE	3 LON-Y-FRO, PENTYRCH, CARDIFF, CF15 9TE	TWO STOREY SIDE AND SINGLE STOREY REAR EXTENSION	01/07/2022	Permission be granted	Householder
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PENYLAN

22/00658/DCH	11/04/2022	SARHAN	HSE	15 FFORDD CWELLYN, PENYLAN, CARDIFF, CF23 5NB	FIRST FLOOR REAR EXTENSION AND ROOF EXTENSION TO THE REAR	30/06/2022	Planning Permission be refused	Householder
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22/00740/DCH	26/04/2022	Prothero	HSE	4 PEN-Y-LAN PLACE, PENYLAN, CARDIFF, CF23 5HE	RETENTION OF RAISED PATIO AREA TO REAR OF PROPERTY	30/06/2022	Permission be granted	Householder
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22/00922/DCH	03/05/2022	Ishaq	REN	30 EARL'S COURT ROAD, PENYLAN, CARDIFF, CF23 9DE	RENEWAL OF 17/00628/DCH FOR GROUND & FIRST FLOOR REAR EXTENSION	30/06/2022	Permission be granted	Renewals and Variation of Conditions
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22/00868/DCH	27/04/2022	Herman	HSE	4 CHURCH TERRACE, ROATH, CARDIFF, CF23 5AW	REMOVAL AND REPLACEMENT OF EXISTING STEEL GATE AND WOODEN FENCING, REMOVAL OF STEEL FENCE ALONG DRIVEWAY AND REPLACED WITH WOODEN FENCING	28/06/2022	Permission be granted	Householder
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PLASNEWYDD

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
21/01446/MNR	06/07/2021	Wastrel Ltd	FUL	THE CROFTS HOTEL, 14-15 CROFTS STREET, ROATH, CARDIFF, CF24 3DZ	FIRST FLOOR AND DORMER ROOF EXTENSIONS TO PROVIDE 6NO. ADDITIONAL BEDROOMS/ENSUITES AND GLAZED LEAN-TO OUTDOOR DINING AREA	28/06/2022	Permission be granted	Other Consent Types

PONTRENNAU/OLD ST MELLONS

22/00356/DCH	23/02/2022	MOHAN	HSE	1 WHITE OAKS DRIVE, OLD ST MELLONS, CARDIFF, CF3 5EX	TWO STOREY SIDE AND REAR EXTENSIONS WITH FIRST FLOOR BALCONIES FRONT ENTRANCE PORCH, SIDE DORMER AND REPOSITIONING OF ACCESS	28/06/2022	Permission be granted	Householder
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22/00949/DCH	10/05/2022	Pesticcio	HSE	19 MELVILLE AVENUE, OLD ST MELLONS, CARDIFF, CF3 5TZ	SINGLE STOREY EXTENSION TO THE SIDE AND REAR AND ASSOCIATED ALTERATIONS	30/06/2022	Permission be granted	Householder
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RADYR

22/00966/DCH	16/05/2022	Dole	HSE	50 WINDSOR AVENUE, RADYR, CARDIFF, CF15 8BY	FIRST FLOOR SIDE EXTENSION OVER EXISTING ADJOINED GARAGE	29/06/2022	Permission be granted	Householder
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22/00983/DCH	09/05/2022	Varco Consultants	CLD	Y WERN, MAIN ROAD, MORGANSTOWN, CARDIFF, CF15 8LJ	WIDEN AN EXISTING ACCESS AND CREATE A HARDSTANDING/HARD SURFACE	29/06/2022	Permission be granted	Other Consent Types
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RHIWBINA

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
21/02880/MNR	10/12/2021	Cox	FUL	15 THORNHILL ROAD, RHIWBINA, CARDIFF, CF14 6PD	ALTERATIONS AND REFURBISHMENT OF EXISTING STRUCTURE AND THE ERECTION OF A SINGLE STOREY REAR AND SIDE EXTENSION AND FIRST FLOOR REAR EXTENSION WITH ASSOCIATED EXTERNAL WORKS TO PROVIDE A NEW DENTAL FACILITY	29/06/2022	Planning Permission be refused	Minor - Other Principal Uses
22/00735/DCH	12/04/2022	Goudge	HSE	8 HEOL TY'N-Y-CAE, RHIWBINA, CARDIFF, CF14 6DJ	LOFT CONVERSION INCLUDING GABLE END ROOF EXTENSION AND DORMER ROOF EXTENSION	01/07/2022	Permission be granted	Householder
22/00860/MNR	20/04/2022	MORRIS	FUL	9-15 PENYGRAIG, RHIWBINA, CARDIFF, CF14 6ST	CONVERSION OF ROOF SPACE WITH INCREASE IN RIDGE HEIGHT AND FOUR SMALL REAR APEX DORMERS TO CREATE 2 ADDITIONAL APARTMENTS	01/07/2022	Planning Permission be refused	Minor - Dwellings (C3)
RIVERSIDE								
PRAP/22/00026/MNR	09/05/2022	CK Hutchison Networks (UK) Ltd	PAT	LAND AT JUNCTION OF CATHEDRAL ROAD AND PONTCANNA STREET, PONTCANNA	PROPOSED TELECOMMUNICATIONS INSTALLATION: PROPOSED 20M HIGH 'SLIM LINE' PHASE 8 MONOPOLE C/W WRAPAROUND CABINET AT BASE, 3NO. ADDITIONAL ANCILLARY EQUIPMENT CABINETS AND ASSOCIATED ANCILLARY WORKS	01/07/2022	Permission Required	Other Consent Types
22/00578/DCH	21/03/2022	ALLEN	HSE	126 LLANDAFF ROAD, PONTCANNA, CARDIFF, CF11 9PW	SINGLE STOREY REAR AND SIDE EXTENSION	28/06/2022	Permission be granted	Householder

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21/02343/MJR	30/09/2021	CPD Cathedral Ltd	VAR	32 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9UQ	VARIATION OF CONDITIONS 2, 7, 13, 19, 22, 23 AND 24 OF 21/00212/MJR TO VARY THE WORDING OF THE CONDITIONS TO ALLOW THE DEVELOPMENT TO BE PROGRESSED IN TWO PHASES AND TO ALLOW MINOR CHANGES TO THE APPROVED DETAILS.	28/06/2022	Permission be granted	Renewals and Variation of Conditions

RUMNEY

22/00267/MNR	25/02/2022	Verrier-Jones	OUT	PART OF LAND AT GREENFIELDS, NEWPORT ROAD, RUMNEY, CARDIFF, CF3 5TW	OUTLINE PLANNING WITH ALL MATTERS RESERVED FOR ONE DETACHED PROPERTY IN THE GROUNDS OF 'GREENFIELDS'	29/06/2022	Permission be granted	Minor - Dwellings (C3)
22/00916/DCH	11/05/2022	The Old Vicarage	CLD	15 CHURCH ROAD, RUMNEY, CARDIFF, CF3 3BA	CONSTRUCTION OF GROUND FLOOR INFILL EXTENSION REPLACING EXISTING EXTERNAL GLASS ROOF STRUCTURE	29/06/2022	Permission be granted	Other Consent Types
22/00156/MNR	01/02/2022	Wiley	FUL	750 NEWPORT ROAD, RUMNEY, CARDIFF, CF3 4FF	CONVERSION OF EXISTING DUPLEX 3 BEDROOM FLAT INTO TWC 2 BEDROOM APARTMENTS.	01/07/2022	Permission be granted	Minor - Dwellings (C3)
22/00995/DCH	11/05/2022	Carroll	REN	LAND ADJACENT TO 217 NEW ROAD, RUMNEY, CARDIFF, CF3 3BP	RENEWAL OF 17/01181/MNR FOR PROPOSED 3 BEDROOM DWELLING	01/07/2022	Permission be granted	Renewals and Variation of Conditions

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22/01004/DCH	11/05/2022	Sutton	HSE	31 HARLECH ROAD, RUMNEY, CARDIFF, CF3 3HT	SINGLE STOREY SIDE AND REAR EXTENSIONS, HIP TO GABLE ROOF EXTENSION WITH REAR DORMER, FRONT PORCH, OUTBUILDING IN REAR GARDEN AND DROPPED KERB	01/07/2022	Permission be granted	Householder

SPLOTT

22/01217/DCH	28/06/2022	ALAM	CLD	206 CARLISLE STREET, SPLOTT, CARDIFF, CF24 2PH	REAR DORMER LOFT CONVERSION	01/07/2022	Permission be granted	Other Consent Types
22/00555/MNR	23/03/2022	Viridor Energy Ltd	FUL	CARDIFF ENERGY RECOVERY FACILITY, TRIDENT INDUSTRIAL PARK, GLASS AVENUE, SPLOTT	INSTALLATION OF STORAGE TANK	01/07/2022	Permission be granted	Other Consent Types
22/00944/MNR	04/05/2022	Neal	REN	PART OF LAND AT 95 CLYDESMUIR ROAD, TREMORFA, CARDIFF, CF24 2PY	EXTENSION OF PLANNING PERMISSION 17/00834/MNR FOR ERECTION OF ATTACHED HOUSE	29/06/2022	Permission be granted	Renewals and Variation of Conditions
22/00796/MNR	21/04/2022	PRITCHARD	FUL	88 SPLOTT ROAD, SPLOTT, CARDIFF, CF24 2DB	GROUND AND FIRST FLOOR REAR EXTENSIONS, DORMER LOFT CONVERSION AND CHANGE OF USE TO 8 BEDROOM SUI GENERIS HMO	29/06/2022	Planning Permission be refused	Minor - Dwellings (C3)

WHITCHURCH/TONGWYNLAIS

21/02231/DCH	15/09/2021	Campbell	HSE	16 SILVER BIRCH CLOSE, WHITCHURCH, CARDIFF, CF14 1EL	DEMOLITION OF EXISTING GARAGE AND CONSTRUCTION OF A NEW TWO STOREY SIDE EXTENSION INCLUDING REVISED PORCH	27/06/2022	Permission be granted	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00365/DCH	21/02/2022	Fry	HSE	50B PARK ROAD, WHITCHURCH, CARDIFF, CF14 7BR	PROPOSED WINDOW WITH PRIVACY SCREEN AND ALTERATIONS TO EXISTING PROPERTY AND WORKS TO CREATE PATIO AREA TO SIDE OF PROPERTY	27/06/2022	Permission be granted	Householder
22/00248/DCH	09/02/2022	Wicks	VAR	53 WINGFIELD ROAD, WHITCHURCH, CARDIFF, CF14 1NJ	VARIATION OF CONDITION 2 OF 21/01727/DCH TO ALTER APPROVED PLANS AND EXTEND PROPOSED SINGLE STOREY EXTENSION	01/07/2022	Permission be granted	Renewals and Variation of Conditions
22/00655/MNR	23/05/2022	Lawrence	FUL	WHITCHURCH BOWLING CLUB CLUB HOUSE, PENLLINE ROAD, WHITCHURCH, CARDIFF, CF14 2AD	REMOVAL OF EXISTING SHED AND CONSTRUCTION OF OUTBUILDING	29/06/2022	Permission be granted	Minor - Other Principal Uses

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 04/07/2022 and 08/07/2022

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CANTON								
21/00916/MJR	14/04/2021	The Cardiff Property Plc	FUL	ROYAL MAIL CARDIFF WEST DELIVERY OFFICE, 635-637 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1AX	DEMOLITION OF EXISTING ROYAL MAIL SORTING OFFICE AND ERECTION OF FOUR/FIVE STOREY BUILDING TO COMPRISE COMMERCIAL USES AT GROUND FLOOR (FLEXIBLE A1/A2/A3) AND 20 NO. ONE AND TWO BEDROOM APARTMENTS AT 1ST, 2ND, 3RD AND 4TH FLOOR, WITH ANCILLARY WORKS	08/07/2022	Permission be granted	Major - Dwellings (C3)
CATHAYS								
22/00733/MNR	14/04/2022	Thomas	FUL	123 RICHARDS STREET, CATHAYS, CARDIFF, CF24 4DD	MIXED-USE DEVELOPMENT CONSISTING OF 6NO. FLATS, 2NO. RETAIL UNITS AND AN OFFICE INCLUDING ALTERATIONS TO EXISTING SHOP FRONT, GROUND AND FIRST FLOOR REAR EXTENSIONS, FIRST FLOOR FRONT EXTENSION, DORMER ROOF EXTENSIONS	07/07/2022	Withdrawn by Applicant	Minor - Dwellings (C3)
22/01058/MNR	18/05/2022	PALMER	FUL	32 CRWYS ROAD, CATHAYS, CARDIFF, CF24 4NL	CONVERSION OF FIRST FLOOR RESIDENTIAL PART OF PROPERTY TO 2NO. SELF-CONTAINED FLAT UNITS	07/07/2022	Permission be granted	Minor - Dwellings (C3)

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22/00632/MNR	26/04/2022	Saunders	FUL	CARDIFF AND COUNTY CLUB, WESTGATE STREET, CITY CENTRE, CARDIFF, CF10 1DA	INSTALLATION OF VEHICLE BARRIER	06/07/2022	Permission be granted	Other Consent Types

CREIGAU/ST FAGANS

21/01419/MJR	08/06/2021	Persimmon Homes East Wales	DOC	LAND TO THE NORTH OF M4 JUNCTION 33, CREIGIAU, CARDIFF	DISCHARGE OF CONDITION 32 (PUBLIC ART) OF 14/00852/DCO	08/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions
22/00209/MJR	03/02/2022	Redrow Homes (South Wales) Ltd	DOC	PARCEL P2, PLASDWR, NORTH WEST CARDIFF	DISCHARGE OF CONDITIONS 45 (POWER LINES, PYLONS AND HP GAS PIPES), 46 (ENERGY STRATEGY), 48 (TREES), 49 (SOILS), 59 (ROAD TRAFFIC NOISE) AND 65 (DETAILED POTABLE WATER) OF OUTLINE APPLICATION 14/02733/MJR IN RESPECT OF AREA COVERED BY RESERVED MATTERS APPLICATION 22/00133/MJR (PARCEL P2, PHASE 2, LAND NORTH OF PENTREBANE ROAD)	07/07/2022	Full Discharge of Condition	Discharge of Conditions

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22/01177/MJR	08/06/2022	Persimmon Homes East Wales	NMA	PHASE 1 AND 2, M4 JUNCTION 33, MOTORWAY JUNCTION 33, CREIGIAU	AMEND RECON STONE TO PLOTS 57, 68 & 75 FROM FORTICRETE, SHEARSTONE PENTSTONE TO AGGREGATE STONE, BRADSTONE, AMEND EXTERNAL MATERIAL OF GARAGE ASSOCIATED WITH PLOT 9 FROM BRICK TO RENDER, AMEND MAIN DWELLING SIDE GABLE ELEVATION OF PLOT 56 FROM BRICK TO RENDER - PREVIOUSLY APPROVED UNDER 22/01177/MJR	08/07/2022	Permission be granted	Non Material Amendment

CYNCOED

22/01160/DCH	31/05/2022	Tomlinson	HSE	17 BERRYMEAD ROAD, CYNCOED, CARDIFF, CF23 6QA	TWO STOREY REAR EXTENSION	06/07/2022	Permission be granted	Householder
22/00837/DCH	20/04/2022	Spencer	HSE	33 FIDLAS AVENUE, CYNCOED, CARDIFF, CF14 0NY	SINGLE STOREY SIDE EXTENSION WITH ASSOCIATED WORKS	06/07/2022	Permission be granted	Householder

ELY

22/00546/MJR	23/03/2022	Cardiff Council; Wates Residential	FUL	FORMER ELY HOUSING OFFICE SITE, LAND AT JUNCTION OF PENDINE ROAD AND GRAND AVENUE, ELY	DEVELOPMENT OF 10 AFFORDABLE RESIDENTIAL APARTMENTS (USE CLASS C3), AS WELL AS ASSOCIATED VEHICULAR, CYCLIST AND PEDESTRIAN ACCESS, PARKING, ENGINEERING AND INFRASTRUCTURE WORKS, LANDSCAPING, OPEN SPACE AND SUSTAINABLE URBAN DRAINAGE	06/07/2022	Withdrawn by Applicant	General Regulations
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21/02521/MJR	29/10/2021	LCB Construction	DOC	84-86 SEVENOAKS ROAD, ELY, CARDIFF	DISCHARGE OF CONDITION 4 (HIGHWAY AND PEDESTRIAN WORKS) OF 21/00401/MJR	06/07/2022	Full Discharge of Condition	Discharge of Conditions

GRANGETOWN

22/01285/DCH	20/06/2022	Bladon	CLD	11 ROOKWOOD STREET, GRANGETOWN, CARDIFF, CF11 6PH	REAR ELEVATION SINGLE STOREY EXTENSION	04/07/2022	Permission be granted	Other Consent Types
22/00707/MNR	06/05/2022	Wickham	FUL	13 HARRISON WAY, GRANGETOWN, CARDIFF, CF11 7PE	CHANGE OF USE FROM A C3 DWELLING HOUSE TO A 4 BED HOUSE IN MULTIPLE OCCUPATION	07/07/2022	Permission be granted	Other Consent Types

LISVANE

22/00782/DCH	12/04/2022	Mountain	HSE	94 MILL ROAD, LISVANE, CARDIFF, CF14 0UG	PROPOSED DOUBLE STOREY SIDE EXTENSION AND REAR SINGLE STOREY EXTENSION AND ALTERATIONS	07/07/2022	Permission be granted	Householder
22/00803/DCH	25/04/2022	Vijay	HSE	9 IVYDALE, LISVANE, CARDIFF, CF14 0RT	SINGLE STOREY EXTENSION TO SIDE AND REAR	06/07/2022	Permission be granted	Householder

LLANDAFF

22/01009/DCH	17/05/2022	Faulkner-Porch	HSE	10 ALLAN DURST CLOSE, DANESCOURT, CARDIFF, CF5 2RP	TWO STOREY SIDE EXTENSION	06/07/2022	Permission be granted	Householder
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PENTYRCH AND ST FAGANS

22/00908/DCH	04/05/2022	Smith	HSE	1 FFIGYS COTTAGE, MAIN ROAD, GWAELOD-Y-GARTH, CARDIFF, CF15 9HZ	NEW FRONT DOOR	06/07/2022	Permission be granted	Householder
22/00435/DCH	02/03/2022	Warmisham	HSE	11 LON-Y-FRO, PENTYRCH, CARDIFF, CF15 9TE	TWO STOREY FRONT EXTENSION	06/07/2022	Permission be granted	Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00888/MNR	26/04/2022	Simmons	DOC	LAND AT MOUNTAIN ROAD, PENTYRCH	DISCHARGE OF CONDITIONS 3 (REMEDICATION SCHEME), 10 (LANDSCAPING) AND 14 (CROSSOVER) OF 21/02712/MNR	04/07/2022	Full Discharge of Condition	Discharge of Conditions
PENYLAN								
22/00570/DCH	29/03/2022	SHEIKH	HSE	7 ENNERDALE CLOSE, PENYLAN, CARDIFF, CF23 5NZ	TWO STOREY SIDE AND SINGLE STOREY FRONT AND REAR EXTENSION PLUS REAR DORMER LOFT CONVERSION AND CONSTRUCTION OF AN OUTBUILDING IN THE REAR GARDEN	07/07/2022	Permission be granted	Householder
PLASNEWYDD								
22/01352/DCH	24/06/2022	Johnes	CLD	104 ROATH COURT ROAD, ROATH, CARDIFF, CF24 3SF	REAR EXTENSION	06/07/2022	Planning Permission be refused	Other Consent Types
RADYR								
22/00968/DCH	09/05/2022	Binding	HSE	14 MAPLE TREE CLOSE, RADYR, CARDIFF, CF15 8RU	TWO STOREY SIDE EXTENSION AND SINGLE STOREY REAR EXTENSION AND NEW SHED AND GARDEN ROOM TO REAR GARDEN	07/07/2022	Permission be granted	Householder
22/01233/DCH	13/06/2022	Beddoe	NMH	33 MIN-Y-COED, RADYR, CARDIFF, CF15 8AQ	TO AMEND THE LEAN -TO ROOF TO A FLAT ROOF TO TIE IN WITH THE EXISTING FLAT ROOF - PREVIOUSLY APPROVED UNDER 22/00127/DCH	06/07/2022	Permission be granted	Non Material Householder

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22/01320/DCH	21/06/2022	Slater	NMH	116 HEOL ISAF, RADYR, CARDIFF, CF15 8EA	ALTERATION TO THE SOUTH WEST CORNER EXTENSION. GROUND FLOOR WINDOWS REPLACED WITH NEW GLAZED DOOR - PREVIOUSLY APPROVED UNDER 21/02125/DCH	06/07/2022	Permission be granted	Non Material Householder

RHIWBINA

22/01170/MNR	31/05/2022	Cardiff Council	DOC	RHIWBINA LIBRARY, PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EH	DISCHARGE OF CONDITIONS 3 (CYCLE SHELTER) AND 4 (HANDRAILS) OF 21/00954/MNR	06/07/2022	Full Discharge of Condition	General Regulations
22/00976/DCH	11/05/2022	Maitland	HSE	95 HEOL-Y-DERI, RHIWBINA, CARDIFF, CF14 6HE	SINGLE STOREY REAR EXTENSION AND RE-ROOF OF EXISTING EXTENSION	06/07/2022	Permission be granted	Householder

RIVERSIDE

22/01032/DCH	18/05/2022	Davies	HSE	47 HAMILTON STREET, PONTCANNA, CARDIFF, CF11 9BP	DEMOLITION OF REAR LEAN-TO STRUCTURES AND CONSTRUCTION OF SINGLE STOREY SIDE EXTENSION TO REAR ANNEXE	06/07/2022	Permission be granted	Householder
20/02532/MNR	09/12/2020	Willis Investments Ltd	FUL	128 COWBRIDGE ROAD EAST, RIVERSIDE, CARDIFF	EXTENSION TO AND CONVERSION OF THE UPPER FLOORS TO PROVIDE 8NO. FLATS AND ASSOCIATED WORKS	06/07/2022	Permission be granted	Minor - Dwellings (C3)
22/00616/DCH	22/03/2022	Parry	HSE	151 KING'S ROAD, PONTCANNA, CARDIFF, CF11 9DE	SINGLE STOREY REAR AND SIDE RETURN EXTENSION	07/07/2022	Permission be granted	Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00591/MJR	24/03/2022	CPD Cathedral Ltd	DOC	32 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9UQ	PARTIAL DISCHARGE OF CONDITION 8 (ARCHITECTURAL DETAILING) OF 21/00212/MJR	08/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions

SPLOTT

22/01072/DCH	25/05/2022	Younis	HSE	24 HIND CLOSE, PENGAM, CARDIFF, CF24 2EF	SINGLE STOREY REAR EXTENSION	07/07/2022	Permission be granted	Householder
21/02898/MNR	15/12/2021	Walters	FUL	PART OF LAND AT 171 HABERSHON STREET, SPLOTT, CARDIFF, CF24 2LA	CONSTRUCTION OF NEW RESIDENTIAL UNIT	08/07/2022	Permission be granted	Minor - Dwellings (C3)
22/00755/MNR	14/04/2022	Celsa Manufacturing	FUL	CELSA MANUFACTURING UK, ROVER WAY, PENGAM, CARDIFF, CF24 5TH	INSTALLATION OF A STATIC VARIABLE COMPENSATOR (SVC), INVOLVING DEMOLITION OF EXISTING STRUCTURES AND ASSOCIATED DEVELOPMENT	06/07/2022	Permission be granted	Minor - Industry/Storag e/Distribution

WHITCHURCH/TONGWYNLAIS

22/00475/MJR	08/03/2022	Transforming Cancer Services	DOC	WHITCHURCH HOSPITAL, PARK ROAD, WHITCHURCH, CARDIFF, CF14 7XB	DISCHARGE OF CONDITION 9 (SCHEME OF HIGHWAY WORKS TO PARK ROAD AND THE WHITCHURCH HOSPITAL ENTRANCE) OF 20/01110/MJR	08/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions
21/00918/DCH	19/04/2021	Driscoll	HSE	86 HEOL DON, WHITCHURCH, CARDIFF, CF14 2AT	SINGLE STOREY REAR EXTENSION AND THE ADDITION OF A FIRST FLOOR WITHIN A NEW GABLED ROOF WITH DORMER ROOF EXTENSIONS	07/07/2022	Planning Permission be refused	Householder

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22/00714/DCH	12/04/2022	COOPER	HSE	4 FFORDD CELYN, WHITCHURCH, CARDIFF, CF14 1LF	GROUND FLOOR FRONT AND REAR EXTENSIONS	07/07/2022	Permission be granted	Householder

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 11/07/2022 and 15/07/2022

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
BUTETOWN								
22/01147/MNR	01/06/2022	Roku Inc	FUL	FUSION POINT, TRESILLIAN TERRACE, BUTETOWN, CARDIFF, CF10 5DA	INSTALLATION OF 9NO. SATELLITES TO THE ROOF	11/07/2022	Permission be granted	Other Consent Types
22/00994/MJR	10/05/2022	Willowmead Holdings Ltd	DOC	THE PADDLE STEAMER, LOUDOUN SQUARE, BUTETOWN, CARDIFF, CF10 5JB	DISCHARGE OF CONDITIONS 8 (CONSTRUCTION MANAGEMENT PLAN), 9 (DRAINAGE ASSETS RISK ASSESSMENT) AND 10 (STRUCTURAL CONDITION SCHEME OF DRAINAGE ASSETS) OF 20/01629/MJR	15/07/2022	Full Discharge of Condition	Discharge of Conditions
PRAP/22/00018/MNR	10/05/2022	CK Hutchison Networks (UK) Ltd	PAT	FOOTPATH ON LLOYD GEORGE AVENUE ADJACENT TO THE RED DRAGON CENTRE, ATLANTIC WHARF	PROPOSED 5G TELECOMS INSTALLATION: 17M HIGH 'SLIM LINE' PHASE 8 H3G STREET POLE C/W WRAP AROUND CABINET AND 3NO. CABINETS WITH ANCILLARY WORKS	15/07/2022	Permission Required	Other Consent Types
CANTON								
22/00999/DCH	16/05/2022	MYRING	HSE	27 RADNOR ROAD, CANTON, CARDIFF, CF5 1RA	SINGLE STOREY REAR EXTENSION AND ASSOCIATED ALTERATIONS	11/07/2022	Permission be granted	Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
A/22/00035/MNR	17/05/2022	Wildstone Group Limited	ADV	LAND AT COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1BP	REPLACEMENT OF 2NO EXISTING 48-SHEET ADVERTISING DISPLAYS WITH 2NO 48-SHEET DIGITAL ADVERTISING DISPLAYS AND REMOVAL OF 2NO 96-SHEET ADVERTISING DISPLAYS (RE-SUBMISISON OF UNIMPLEMENTED CONSENT A/17/00144/MNR)	11/07/2022	Permission be granted	Advertisements
22/00360/MNR	21/02/2022	Lovell Parnerships Ltd	FUL	PLOT 33, FORMER ARJO WIGGINS, OLD MILL BUSINESS PARK, SANATORIUM ROAD, CANTON, CARDIFF	RETENTION OF 6 CAR PARKING SPACES ON SITE OF DWELLING APPROVED UNDER 18/02790/MNR. CAR PARKING SPACES TO BE ALLOCATED TO NEIGHBOURING RESIDENTIAL DWELLINGS	13/07/2022	Permission be granted	Other Consent Types
22/00298/MJR	04/03/2022	Ely Mill Development Company	DOC	FORMER PAPER MILL ARJO WIGGINS, OLD MILL BUSINESS PARK, SANATORIUM ROAD, CANTON, CARDIFF	DISCHARGE OF CONDITION 14 (CONSTRUCTION MANAGEMENT SCHEME) OF 18/01190/MNR IN RELATION TO SITE D	14/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions
CATHAYS								
22/01109/MJR	24/05/2022	Transport for Wales	NMA	SITE OF FORMER MARLAND HOUSE AND NCP CAR PARK, CENTRAL SQUARE, CARDIFF	AMENDMENT IN RELATION TO THE REQUIREMENT TO INSERT A FIRST FLOOR ELEVATION MEZZANINE LEVEL ABOVE THE RETAIL UNITS FRONTING MARLAND STREET, CENTRAL SQUARE - PREVIOUSLY APPROVED UNDER 19/02140/MJR	13/07/2022	Permission be granted	Non Material Amendment

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22/00781/MNR	12/04/2022	Mitchells and Butlers Plc	FUL	THE CORNER HOUSE, 25 CAROLINE STREET, CITY CENTRE, CARDIFF, CF10 1FF	VARIOUS MINOR EXTERNAL ALTERATIONS INCLUDING REPLACEMENT AWNINGS, OUTDOOR SEATING AND ASSOCIATED DEVELOPMENT	13/07/2022	Permission be granted	Minor - Retail (A1-A3)
A/22/00040/MNR	17/06/2022	Washington Green	ADV	28-29 ST DAVID'S DEWI SANT, GRAND ARCADE, CITY CENTRE, CARDIFF	REPLACEMENT INTERNALLY ILLUMINATED FASCIA SIGN TO EXG GLASS FRONT	12/07/2022	Permission be granted	Advertisements
22/00598/MNR	24/03/2022	Quin Freehold Ltd & JP Acquisitions Ltd	FUL	103 RHYMNEY STREET, CATHAYS, CARDIFF, CF24 4DH	CHANGE OF USE FROM A C3 DWELLING HOUSE TO A SIX PERSON HOUSE IN MULTIPLE OCCUPATION (C4), WITH A REAR DORMER ROOF EXTENSION, FIRST FLOOR EXTENSION, INSERTION OF ROOF LIGHT TO THE FRONT ROOF PLANE AND ASSOCIATED ALTERATIONS	13/07/2022	Permission be granted	Minor - Dwellings (C3)
LBC/22/00028/MNR	10/05/2022	Christopher Gould	LBC	THE OLD LIBRARY, TRINITY STREET, CITY CENTRE, CARDIFF, CF10 1BH	REMOVAL OF MEZZANINE FLOOR IN THE FIRST FLOOR SOUTHERN ROOM OF THE OLD LIBRARY	15/07/2022	Permission be granted	Listed Buildings
CREIGAU/ST FAGANS								
21/02739/DCH	11/01/2022	Biles	HSE	LLANMAES HOUSE, MICHAELSTON ROAD, ST FAGANS, CARDIFF, CF5 6DU	PARTIAL DEMOLITION OF EXISTING GARAGE AND ITS ALTERATION TO INCLUDE A NEW ROOF TOGETHER WITH THE CONSTRUCTION OF A NEW GARAGE BLOCK	12/07/2022	Permission be granted	Householder
CYNCOED								

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22/00121/DCH	21/01/2022	Harris	HSE	17 PEN-Y-BRYN ROAD, CYNCOED, CARDIFF, CF23 6QS	NEW DETACHED GARAGE IN SUBSTITUTION FOR AN EXISTING GARAGE PREVIOUSLY DEMOLISHED	12/07/2022	Permission be granted	Householder
22/01013/DCH	12/05/2022	Caryll	REN	24 DAN-YR-HEOL, CYNCOED, CARDIFF, CF23 6JU	RENEWAL OF PLANNING PERMISSION 17/00602/DCH FOR HIP TO GABLE LOFT CONVERSION WITH ADDITION OF REAR PITCHED ROOF DORMER TO CREATE ADDITIONAL BEDROOM WITH EN-SUITE.	12/07/2022	Permission be granted	Renewals and Variation of Conditions
22/01099/MNR	26/05/2022	TIC Developments	FUL	287 CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6PA	CONVERSION OF EXISTING FIRST FLOOR FLAT INTO 2NO. FLATS WITH NEW BOUNDARY FENCES TO THE SIDE AND REAR	11/07/2022	Permission be granted	Minor - Dwellings (C3)
22/00509/DCH	14/03/2022	Moucher	HSE	17 LEVEN CLOSE, LAKESIDE, CARDIFF, CF23 6DN	ERECTION OF SINGLE STOREY REAR EXTENSION THE AMENDMENT RELATES TO THE REPOSITIONING OF THE PROPOSED EXTENSION, WHICH WOULD COME NEARER TO THE BOUDARY WITH NO. 19 LEVEN CLOSE	14/07/2022	Permission be granted	Householder
22/01438/DCH	06/07/2022	Thomas	CLD	42 MOUNTBATTEN CLOSE, ROATH PARK, CARDIFF, CF23 5QH	LOFT CONVERSION TO INCLUDE A DORMER EXTENSION TO THE REAR	14/07/2022	Permission be granted	Other Consent Types

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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
PRAP/22/00030/MNR	30/05/2022	CK Hutchison Networks (UK) Ltd	PAT	LAND AT JUNCTION OF GREEN FARM CLOSE AND GREEN FARM ROAD, ELY	PROPOSED TELECOMMUNICATIONS INSTALLATION: PROPOSED 15.0M PHASE 8 MONOPOLE C/W WRAPROUND CABINET AT BASE AND ASSOCIATED ANCILLARY WORKS	15/07/2022	Permission Required	Other Consent Types
22/01207/DCH	14/06/2022	Steward	HSE	71 COEDRIGLAN DRIVE, ELY, CARDIFF, CF5 4UN	PROPOSED SINGLE STOREY LEAN TO SIDE/REAR EXTENSION	15/07/2022	Permission be granted	Householder
GABALFA								
22/01385/DCH	28/06/2022	Morey	CLD	17 LAYTONIA AVENUE, GABALFA, CARDIFF, CF14 3BQ	GROUND FLOOR EXTENSION TO THE REAR AND HIP TO GABLE LOFT CONVERSION WITH REAR DORMER	14/07/2022	Permission be granted	Other Consent Types
GRANGETOWN								
22/00934/MJR	05/05/2022	Greenbank Partnership Company	NMA	CARDIFF POINTE, FERRY ROAD, GRANGETOWN, CARDIFF	ALTERATIONS TO TREES, PLANTING, SITE BOUNDARY AND LAYOUT, AND ELEVATIONAL CHANGES TO BLOCKS B AND D - PREVIOUSLY APPROVED UNDER 12/00937/DCI	15/07/2022	Permission be granted	Non Material Amendment
HEATH								
22/01060/DCH	19/05/2022	Forster	HSE	37 CROMWELL ROAD, BIRCHGROVE, CARDIFF, CF14 1UQ	SINGLE STOREY REAR EXTENSION	13/07/2022	Permission be granted	Householder

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22/00719/MNR	21/04/2022	TURNER	FUL	336 NORTH ROAD, BIRCHGROVE, CARDIFF, CF14 3BP	CONVERSION TO CLASS C4 HMO FLAT AND RETAINING GROUND FLOOR FRONT SHOP PLUS NEW ROOF TO LEAN-TO AND NEW WINDOW TO THE REAR	13/07/2022	Permission be granted	Minor - Dwellings (C3)

LLANDAFF

22/00389/MNR	14/04/2022	Griffiths	FUL	PART OF LAND AT 28 PALACE ROAD, LLANDAFF, CARDIFF, CF5 2AF	CONSTRUCTION OF TWO STOREY FOUR BEDROOM DETACHED HOUSE	13/07/2022	Withdrawn by Applicant	Minor - Dwellings (C3)
22/01052/DCH	19/05/2022	James	HSE	120 FAIRWATER GROVE EAST, LLANDAFF, CARDIFF, CF5 2JW	SINGLE STOREY REAR EXTENSION	13/07/2022	Permission be granted	Householder
21/02033/DCH	16/08/2021	Hickinbottom	DOC	ST. PEBLIG, 1 THE CATHEDRAL GREEN, LLANDAFF, CARDIFF, CF5 2EB	DISCHARGE OF CONDITIONS 4 (METHODOLOGY AND SPECIFICATION FOR THE WORKS), 5 (SAMPLES OF THE EXTERNAL FINISHING MATERIALS), 6 (METHOD OF INSTALLATION OF LINTELS AND MAKING GOOD OF WALLS/ CEILINGS), 7 (RENDER AND /OR MORTAR MIX), 9 (ROOF DETAILS) AND 10 (LARGE SCALE DOOR/ WINDOW DETAILS) OF 19/03292/DCH	14/07/2022	Full Discharge of Condition	Discharge of Conditions
22/01055/DCH	20/05/2022	Hennessy	HSE	411 WESTERN AVENUE, LLANDAFF, CARDIFF, CF5 2BD	DEMOLISH EXISTING GARAGE AND ERECT NEW SINGLE STOREY SIDE EXTENSION	15/07/2022	Permission be granted	Householder

LLANISHEN

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22/01174/DCH	01/06/2022	Warren	HSE	13 CLOS-Y-WIWER, THORNHILL, CARDIFF, CF14 9ET	PROPOSED NEW SINGLE STOREY SIDE EXTENSION	11/07/2022	Permission be granted	Householder

LLANRUMNEY

22/01216/MJR	22/06/2022	Cardiff Council; Wates Residential	DOC	FORMER LLANRUMNEY HIGH SCHOOL, BALL ROAD, LLANRUMNEY, CARDIFF, CF3 4YW	PARTIAL DISCHARGE OF CONDITION 9 (IMPORTED TOPSOIL) OF 18/02594/MJR	13/07/2022	Partial Discharge of Condition (s)	General Regulations
22/00661/MJR	13/04/2022	Cardiff Council; Wates Residential	DOC	FORMER LLANRUMNEY HIGH SCHOOL, BALL ROAD, LLANRUMNEY, CARDIFF, CF3 4YW	DISCHARGE OF CONDITIONS 13 (ARBORICULTURAL IMPACT ASSESSMENT, METHOD STATEMENT AND TREE PROTECTION PLAN), 18 (EXTERNAL MATERIALS FOR HOUSES AND APARTMENTS), 19 (SAMPLES OF BRICK BOUNDARY WALL) AND 29 (HARTLAND ROAD WIDENING) OF 18/02594/MJR	15/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions
22/00292/MJR	03/03/2022	Cardiff Council; Wates Residential	DOC	FORMER LLANRUMNEY HIGH SCHOOL, BALL ROAD, LLANRUMNEY, CARDIFF, CF3 4YW	DISCHARGE OF CONDITIONS 16 (CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN), 22 (FLOOD MITIGATION MEASURES), 23 (CYCLE STORAGE), 24 (MOTORCYCLE BARRIERS), 27 (ADDITIONAL PEDESTRIAN CONNECTIONS) AND 28 (BOUNDARY DETAILS FACING SQUARE) OF 18/02594/MJR	15/07/2022	Partial Discharge of Condition (s)	General Regulations

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22/01215/MJR	22/06/2022	Cardiff Council; Wates Residential	DOC	FORMER LLANRUMNEY HIGH SCHOOL, BALL ROAD, LLANRUMNEY, CARDIFF, CF3 4YW	DISCHARGE OF CONDITIONS 14 (LANDSCAPE SPECIFICATION) AND 21 (GREEN INFRASTRUCTURE MANAGEMENT STRATEGY) OF 18/02594/MJR	15/07/2022	Full Discharge of Condition	General Regulations

PENTWYN

22/01382/DCH	06/07/2022	Coombs	CLD	177 WYNCLIFFE GARDENS, PENTWYN, CARDIFF, CF23 7FD	ERECTION OF SINGLE STOREY EXTENSION TO SIDE AND REAR OF DWELLING AND CONVERSION OF GARAGE	14/07/2022	Planning Permission be refused	Other Consent Types
22/00489/MNR	25/03/2022	Llanedeyrn Dental Practice	FUL	69 AEL-Y-BRYN, LLANEDEYRN, CARDIFF, CF23 9LL	INSTALLATION OF AN AIR CONDITIONER FOR NEW BUILT OFFICE	11/07/2022	Permission be granted	Minor - Other Principal Uses

PENTYRCH AND ST FAGANS

PRAP/22/00029/MNR	24/05/2022	CK Hutchison Networks Ltd	PAT	LAND AT JUNCTION OF HEOL-Y-PENTRE AND BRONLLWYN, PENTYRCH, CARDIFF	PROPOSED 15M HIGH MONOPOLE INSTALLATION COMPRISING A H3G HIGH STREET POLE AND ANTENNAS, 3 EQUIPMENT CABINETS, AND ANCILLARY DEVELOPMENT	15/07/2022	Permission Required	Other Consent Types
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PENYLAN

22/01439/DCH	07/07/2022	Speller	CLD	40 OAK WOOD AVENUE, PENYLAN, CARDIFF, CF23 9HA	SINGLE STOREY REAR EXTENSION	14/07/2022	Permission be granted	Other Consent Types
22/01236/DCH	21/06/2022	Hannan.	VAR	WENLOCK, 15 TY-GWYN ROAD, PENYLAN, CARDIFF, CF23 5JF	VARIATION OF CONDITION 2 (APPROVED PLANS) OF 19/01542/DCH TO RETAIN GARAGE AS BUILT	14/07/2022	Permission be granted	Renewals and Variation of Conditions

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22/01041/DCH	18/05/2022	Lane	HSE	8 TY-DRAW ROAD, PENYLAN, CARDIFF, CF23 5HA	SINGLE STOREY GARAGE EXTENSION	11/07/2022	Permission be granted	Householder
22/01020/MNR	23/05/2022	Michelet	FUL	277 ALBANY ROAD, ROATH, CARDIFF, CF24 3NX	REMOVAL OF EXISTING GARAGE AND CONSTRUCTION OF ONE BED DWELLING	13/07/2022	Planning Permission be refused	Minor - Dwellings (C3)

PLASNEWYDD

22/00861/DCH	11/05/2022	Thompson	HSE	73 BANGOR STREET, ROATH, CARDIFF, CF24 3LQ	NEW SASH WINDOWS TO FRONT ELEVATION	13/07/2022	Permission be granted	Householder
22/00109/DCH	16/05/2022	N Brown	HSE	33 BOVERTON STREET, ROATH, CARDIFF, CF23 5ES	REPLACEMENT FRONT WINDOWS AND DOOR	11/07/2022	Permission be granted	Householder
22/00693/MNR	04/04/2022	AHMADI	FUL	89 PEN-Y-WAIN ROAD, ROATH, CARDIFF, CF24 4GG	PROPOSED CHANGE OF USE TO 4No. APARTMENTS,GROUND FLOOR REAR EXTENSION, FIRST FLOOR REAR EXTENSION AND 2No. REAR DORMER CONSTRUCTIONS	13/07/2022	Planning Permission be refused	Minor - Dwellings (C3)

RHIWBINA

22/01354/DCH	07/07/2022	Britton	CLD	389 CAERPHILLY ROAD, RHIWBINA, CARDIFF, CF14 4SH	SINGLE STOREY REAR EXTENSION	14/07/2022	Permission be granted	Other Consent Types
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RIVERSIDE

22/00488/DCH	10/03/2022	Davis	HSE	20 PLASTURTON AVENUE, PONTCANNA, CARDIFF, CF11 9HH	INSTALLATION OF CONSERVATION-STYLE ROOF LIGHTS TO REAR ROOF ELEVATION AS PART OF LOFT CONVERSION WITHIN EXISTING LOFT SPACE	13/07/2022	Permission be granted	Householder
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SPLOTT

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00973/MNR	31/05/2022	Bad Wolf Ltd	FUL	BUILDING ONE, TRIDENT INDUSTRIAL PARK, GLASS AVENUE, SPLOTT	PROPOSED AIR HANDLING UNIT AND EXTERNAL BOILER	14/07/2022	Permission be granted	Other Consent Types

TROWBRIDGE

22/00909/MJR	03/05/2022	Jehu Group	DOC	ST MELLONS YOUTH AND COMMUNITY CENTRE, CRICKHOWELL ROAD, ST MELLONS, CARDIFF, CF3 0EF	DISCHARGE OF CONDITIONS 8 (SOFT LANDSCAPING) AND 11 (DRAINAGE SCHEME) OF 19/03320/MJR	13/07/2022	Full Discharge of Condition	Discharge of Conditions
22/00633/MJR	22/03/2022	Jehu Group	DOC	FORMER ST MELLONS YOUTH AND COMMUNITY CENTRE, CRICKHOWELL ROAD, ST MELLONS, CARDIFF, CF3 0EF	DISCHARGE OF CONDITION 10 (CONSTRUCTION ENVIRONMENT MANAGEMENT PLAN) OF 19/03320/MJR	15/07/2022	Full Discharge of Condition	Other Consent Types

WHITCHURCH/TONGWYNLAIS

22/01300/DCH	05/07/2022	Lane	CLD	2 ST MARGARET'S CLOSE, WHITCHURCH, CARDIFF, CF14 7AE	SINGLE STORY REAR EXTENSION TO REPLACE EXISTING CONSERVATORY	14/07/2022	Permission be granted	Other Consent Types
22/01180/DCH	06/06/2022	Raffaelli	HSE	8 HEOL PANTYCELYN, WHITCHURCH, CARDIFF, CF14 7BX	DEMOLITION OF EXISTING CONSERVATORY AND CONSTRUCTION OF A NEW SINGLE STOREY LEAN-TO EXTENSION	14/07/2022	Permission be granted	Householder
22/01022/DCH	16/05/2022	Thomas	NMH	12 TWYN-Y-FEDWEN, WHITCHURCH, CARDIFF, CF14 1HU	AMENDMENTS TO MAKE THE EXTENSION WIDER AND ALTER THE ROOF - PREVIOUSLY APPROVED UNDER 20/01143/DCH	12/07/2022	Permission be granted	Non Material Householder

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 18/07/2022 and 22/07/2022

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
BUTETOWN								
22/01079/MNR	24/05/2022	Senedd Cymru	FUL	THE SENEDD, WELSH PARLIAMENT, PIERHEAD STREET, CARDIFF BAY, CARDIFF, CF99 1SN	INSTALLATION OF A REPLACEMENT DOOR TO THE SOUTH-WEST ELEVATION OF THE SENEDD BUILDING	20/07/2022	Permission be granted	Other Consent Types
22/01117/MJR	26/05/2022	Urban Centric (Cardiff) Ltd	DOC	CRAWSHAY COURT, 6 CURRAN ROAD, BUTETOWN, CARDIFF, CF10 5TG	DISCHARGE OF CONDITION 10 (SAMPLES OF EXTERNAL FINISHES) OF 19/01930/MJR	21/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions
CANTON								
22/00420/DCH	16/03/2022	Lati	HSE	93 BROAD STREET, CANTON, CARDIFF, CF11 8BW	SIDE AND REAR SINGLE STOREY EXTENSION	20/07/2022	Permission be granted	Householder
CATHAYS								
LBC/22/00027/MNR09/05/2022		Swoon Gelato Ltd	LBC	11 DUKE STREET, CITY CENTRE, CARDIFF, CF10 1AY	REPLACE INTERNAL FIXTURES, FITTINGS AND FINISHES, INSTALL A NEW ACCESSIBLE WC, CONSTRUCT ANCILLARY ROOMS IN BASEMENT AND REPAINT EXISTING SHOPFRONT	20/07/2022	Permission be granted	Listed Buildings
LBC/22/00032/MNR23/05/2022		MRF Managing Trustee No.1 Limited and MRF Managing Trustee No.2 Limited as trust	LBC	11 DUKE STREET, CITY CENTRE, CARDIFF, CF10 1AY	ALTERATIONS TO SHOPFRONT TO PROVIDE NEW ENTRANCE DOOR FROM DUKE STREET	20/07/2022	Permission be granted	Listed Buildings
PRAP/22/00031/MNR20/06/2022		Amey	PRAP	MAENDY ROAD OVERBRIDGE, MAINDY ROAD, CATHAYS, CARDIFF	ALTERATION OF THE OVERBRIDGE TO EXTEND THE PARAPET	22/07/2022	Withdrawn by Applicant	Other Consent Types

CREIGAU/ST FAGANS

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/01163/MJR	01/06/2022	Redrow Homes (South Wales)	DOC	PARCEL 2C AND PARCEL 2D, PLASDWR, NORTH WEST CARDIFF	DISCHARGE OF CONDITION 62 (ARCHAEOLOGY) OF 14/02733/MJR IN RELATION TO PARCELS 2C AND 2D	21/07/2022	Full Discharge of Condition	Discharge of Conditions

22/00052/MJR		Redrow Homes (South Wales)	DOC	PHASE 1 F, LAND SOUTH OF PENTREBANE ROAD, CARDIFF	DISCHARGE OF CONDITIONS 2 (TREE PIT DETAIL), 4 (RAISED TABLE RAMP), 5 (EMERGENCY ACCESS FEATURE BUILD OUT), 6 (MATERIALS) AND 8 (PROW) OF 19/002289/MJR	22/07/2022	Withdrawn by Applicant	Discharge of Conditions
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CYNCOED

22/01168/DCH	08/06/2022	Al-Mudhaffer	HSE	2 SUNNINGDALE CLOSE, LAKESIDE, CARDIFF, CF23 6HP	SINGLE STOREY REAR, SIDE AND PORCH EXTENSIONS, CONVERSION OF GARAGE INTO HABITABLE ROOM AND EXTERNAL ALTERATIONS	20/07/2022	Permission be granted	Householder
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FAIRWATER

22/01313/DCH	27/06/2022	Morgan	NMH	21 MARIONVILLE GARDENS, FAIRWATER, CARDIFF, CF5 2LR	SIDE ELEVATION TO ADJACENT PROPERTY WALL TO BE RENDERED INSTEAD OF CLAD, BALCONY TO PRINCIPAL BEDROOM REPOSITIONED FROM REAR ELEVATION TO SIDE ELEVATION FOR PRIVACY FOR HOUSEHOLDERS AND NEIGHBOURS - PREVIOUSLY APPROVED UNDER 21/02441/DCH	22/07/2022	Permission be granted	Non Material Householder
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GABALFA

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
PRAP/22/00034/MNR	21/06/2022	Amey Infrastructure Wales	FUL	RAILWAY OVERBRIDGE, LLYS TAL-Y-BONT ROAD, GABALFA, CARDIFF	BRIDGE PARAPET EXTENSIONS	22/07/2022	Withdrawn by Applicant	Other Consent Types
GRANGETOWN								
A/22/00039/MNR	07/06/2022	McDonald's Restaurants Ltd	ADV	MCDONALDS, CARDIFF BAY RETAIL PARK, FERRY ROAD, GRANGETOWN, CARDIFF, CF11 0JR	RELOCATION OF EXISTING FASCIA SIGNS; 2 NO. WHITE "MCDONALD'S" TEXT AND 2 NO. YELLOW "GOLDEN ARCH" SYMBOLS	20/07/2022	Permission be granted	Advertisements
22/00822/DCH	19/04/2022	Albayaty	HSE	75 SOUTH CLIVE STREET, GRANGETOWN, CARDIFF, CF11 7EH	CONSTRUCTION OF A NEW SINGLE STOREY OUTBUILDING/GYM IN REAR GARDEN	20/07/2022	Planning Permission be refused	Householder
HEATH								
22/01258/DCH	14/06/2022	Groves	NMH	2 LON-Y-PARC, HEATH, CARDIFF, CF14 6DF	CHANGE TO THE ROOF DESIGN - FROM A SINGLE RIDGE LINE OVER THE PROPOSED EXTENSION TO INCLUDE A FLAT SECTION FOR EASE OF CONSTRUCTION - PREVIOUSLY APPROVED UNDER 21/01286/DCH	18/07/2022	Permission be granted	Non Material Householder
LISVANE								
22/01114/DCH	27/05/2022	McMaster	HSE	6 CROFTA, LISVANE, CARDIFF, CF14 0EW	CONVERSION OF GARAGE INTO HABITABLE ROOM, PORCH EXTENSION AND FIRST FLOOR SIDE EXTENSION	22/07/2022	Planning Permission be refused	Householder
LLANDAFF								
22/01187/DCH	10/06/2022	PRITCHARD	HSE	28 TRISCOMBE DRIVE, LLANDAFF, CARDIFF, CF5 2PN	SINGLE STOREY HALLWAY EXTENSION AND GARAGE TO FRONT ELEVATION	21/07/2022	Withdrawn by Applicant	Householder

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00821/DCH	19/04/2022	Conners	HSE	35 INSOLE GARDENS, LLANDAFF, CARDIFF, CF5 2HW	TWO STOREY SIDE EXTENSION, SINGLE STOREY REAR EXTENSION, LOFT CONVERSION WITH REAR DORMER	18/07/2022	Planning Permission be refused	Householder
21/03016/DCH	23/12/2021	Mills	HSE	70 PENCISELY ROAD, LLANDAFF, CARDIFF, CF5 1DH	SINGLE STOREY REAR EXTENSION AND HIP TO GABLE ROOF EXTENSION WITH REAR DORMER	19/07/2022	Permission be granted	Householder
22/00518/DCH	14/03/2022	Mine	DOC	29 CARDIFF ROAD, LLANDAFF, CARDIFF, CF5 2DP	DISCHARGE OF CONDITION 5 (WINDOWS) OF 18/01284/DCH	20/07/2022	Full Discharge of Condition	Discharge of Conditions
LLANISHEN								
22/00959/DCH	05/05/2022	Price	HSE	6 DRURY CLOSE, THORNHILL, CARDIFF, CF14 9BJ	REPLACEMENT OF FRAMES AND ROOF TO REAR ELEVATION	20/07/2022	Permission be granted	Householder
22/01325/MJR	05/07/2022	Hale Construction Ltd	DOC	IORWERTH JONES HOME FOR THE ELDERLY, TRENCHARD DRIVE, LLANISHEN, CARDIFF, CF14 5LJ	DISCHARGE OF CONDITION 4 (REMEDICATION STRATEGY) OF 20/02068/MJR	21/07/2022	Full Discharge of Condition	Discharge of Conditions
PENYLAN								
22/00933/DCH	11/05/2022	Hopkins	HSE	30 MAFEKING ROAD, PENYLAN, CARDIFF, CF23 5DQ	LOFT CONVERSION WITH REAR DORMER ROOF EXTENSIONS	20/07/2022	Permission be granted	Householder
PLASNEWYDD								
22/01336/DCH	12/07/2022	MOGHAL	CLD	73 ALFRED STREET, ROATH, CARDIFF, CF24 4TZ	ERECTION OF REAR AND SIDE DORMERS	18/07/2022	Permission be granted	Other Consent Types

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00432/MNR	28/02/2022	React Support Services	FUL	113 MOY ROAD, ROATH, CARDIFF, CF24 4TF	CONVERSION OF DWELLING INTO 2NO. FLATS	19/07/2022	Permission be granted	Minor - Dwellings (C3)
22/01197/MNR	17/06/2022	Chocoberry Cardiff Ltd	FUL	205 CITY ROAD, ROATH, CARDIFF, CF24 3JR	NEW BOILER FLUE EXTRACT ON FRONT ELEVATION	19/07/2022	Withdrawn by Applicant	Other Consent Types
22/00320/MNR	18/02/2022	Nawaz	FUL	88 CITY ROAD, ROATH, CARDIFF, CF24 3DD	TWO STOREY EXTENSION AND DORMER CONVERTING INTO 1 FLAT WITH RETAIL SPACE REMAINING AT GROUND FLOOR	20/07/2022	Permission be granted	Minor - Dwellings (C3)
PONTPRENNAU/OLD ST MELLONS								
22/01095/DCH	23/05/2022	Thomas	HSE	36 CLONAKILTY WAY, PONTPRENNAU, CARDIFF, CF23 8PS	TWO STOREY EXTENSION TO SIDE AND SINGLE STOREY REAR EXTENSION	20/07/2022	Permission be granted	Householder
22/00975/MJR	11/05/2022	Redrow Homes (South Wales) Ltd	NMA	PHASE 1, CHURCHLANDS LAND NORTH AND EAST OF LISVANE, MAERDY LANE, LISVANE	AMENDMENT TO GROUND LEVEL OF PUBLIC OPEN SPACE AREA - PREVIOUSLY APPROVED UNDER 19/02885/MJR	22/07/2022	Permission be granted	Non Material Amendment
RADYR								
22/01026/DCH	16/05/2022	NA	HSE	103 HEOL ISAF, RADYR, CARDIFF, CF15 8DW	SINGLE STOREY WRAP AROUND SIDE AND REAR EXTENSION	20/07/2022	Permission be granted	Householder
RHIWBINA								
22/00920/DCH	05/05/2022	Willis	HSE	3 GERNANT, RHIWBINA, CARDIFF, CF14 6NA	ERECTION OF TIMBER FRAMED GARDEN ROOM	20/07/2022	Permission be granted	Householder

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22/01078/DCH	24/05/2022	Ferguson	HSE	BRYNDERWEN, 10 Y GOEDWIG, RHIWBINA, CARDIFF, CF14 6UL	SINGLE STOREY REAR EXTENSION, FIRST FLOOR SIDE EXTENSION, REAR ROOF DORMER AND ASSOCIATED WORKS	20/07/2022	Permission be granted	Householder

RIVERSIDE

21/02843/MNR	21/12/2021	LLEWELLYN	FUL	41 KING'S ROAD, PONTCANNA, CARDIFF, CF11 9DA	GROUND FLOOR REAR EXTENSION, DORMER LOFT CONVERSION AND CONVERSION FROM 2 FLATS TO 3 FLATS	22/07/2022	Permission be granted	Minor - Dwellings (C3)
22/00742/DCH	06/04/2022	Kozlen	HSE	43 WYNDHAM CRESCENT, PONTCANNA, CARDIFF, CF11 9EE	LOFT CONVERSION INCLUDING HIP TO GABLE AND REAR DORMER ROOF EXTENSIONS	18/07/2022	Planning Permission be refused	Householder

RUMNEY

22/01070/MJR	19/05/2022	Wates Residential and Cardiff Council	DOC	EASTERN HIGH SCHOOL, NEWPORT ROAD, RUMNEY, CARDIFF, CF3 3XG	DISCHARGE OF CONDITION 5 (REMIEDIATION) OF 18/02519/MJR	21/07/2022	Full Discharge of Condition	Discharge of Conditions
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SPLOTT

22/00770/MJR	13/04/2022	Pinnacle Power Ltd	DOC	ADJACENT TO COMPRESSOR HOUSE, ROATH DOCK ROAD, CARDIFF	DISCHARGE OF CONDITION 4 (CONSTRUCTION MANAGEMENT PLAN) OF PLANNING PERMISSION 20/01453/MJR	21/07/2022	Full Discharge of Condition	Discharge of Conditions
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WHITCHURCH/TONGWYNLAIS

21/02633/DCH	10/11/2021	Burrage-Male	HSE	10 HEOL CARNE, WHITCHURCH, CARDIFF, CF14 1HD	ALTERATIONS TO ROOF	21/07/2022	Withdrawn by Applicant	Householder
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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/01250/DCH	17/06/2022	Ball	NMH	36 HEOL DON, WHITCHURCH, CARDIFF, CF14 2AS	TWO STOREY EXTENSION OMITTED AND GROUND FLOOR EXTENSION REDUCED ON PLAN - PREVIOUSLY APPROVED UNDER 21/02481/DCH	18/07/2022	Permission be granted	Non Material Householder

Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 25/07/2022 and 29/07/2022

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
ADAMSDOWN								
22/01218/MNR	13/06/2022	BRYANT	FUL	130 CLIFTON STREET, ADAMSDOWN, CARDIFF, CF24 1LX	CHANGE OF USE OF GROUND FLOOR FROM RETAIL TO A3 RESTAURANT AND TAKE AWAY WITH INSTALLATION OF EXTRACTION SYSTEM	27/07/2022	Permission be granted	Minor - Retail (A1-A3)
22/00764/MJR	08/04/2022	Tesco Stores Ltd	VAR	ECLIPSE, NEWPORT ROAD LANE, ADAMSDOWN, CARDIFF, CF24 0AP	VARIATION OF CONDITION 17 OF 14/02670/MJR TO AMEND THE HOURS FOR ARRIVAL, DEPARTURE, LOADING OR UNLOADING OF DELIVERY VEHICLES	28/07/2022	Withdrawn by Applicant	Renewals and Variation of Conditions
22/00765/MJR	08/04/2022	Tesco Stores Ltd	VAR	ECLIPSE, NEWPORT ROAD LANE, ADAMSDOWN, CARDIFF, CF24 0AP	VARIATION OF CONDITION 16 OF 14/02670/MJR TO AMEND OPENING HOURS	28/07/2022	Withdrawn by Applicant	Renewals and Variation of Conditions
22/00766/MJR	08/04/2022	Tesco Stores Ltd	REM	ECLIPSE, NEWPORT ROAD LANE, ADAMSDOWN, CARDIFF, CF24 0AP	VARIATION OF CONDITIONS 2, 4, 17 AND 18 OF 14/02670/MJR RELATING TO REMOVING MAXIMUM FLOOR SPACE PER COMMERCIAL UNIT LIMIT, AMENDMENTS TO SIZE OF COMMERCIAL UNITS AND VARIATION OF OPENING HOURS AND SERVICING HOURS OF COMMERCIAL UNITS	29/07/2022	Permission be granted	Renewals and Variation of Conditions
BUTETOWN								
22/01084/MJR	20/05/2022	Urban Centric (Cardiff) Ltd	DOC	CRAWSHAY COURT, 6 CURRAN ROAD, BUTETOWN, CARDIFF, CF10 5TG	DISCHARGE OF CONDITION 32 (WIND TUNNEL ASSESSMENT) OF 19/01930/MJR	29/07/2022	Full Discharge of Condition	Discharge of Conditions

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22/01068/MNR	18/05/2022	Morgan Jones	DOC	7 MOUNT STUART SQUARE, BUTETOWN, CARDIFF, CF10 5EE	DISCHARGE OF CONDITION 4 (LEAD CLAD DORMERS) OF 21/00623/MNR	25/07/2022	Full Discharge of Condition	Discharge of Conditions
A/22/00045/MNR	16/06/2022	New World Trading Company	ADV	UNIT 4 TO 6, MERMAID QUAY STUART STREET, CARDIFF BAY, CARDIFF, CF10 5BZ	2 NO. INTERNALLY ILLUMINATED LETTERING SIGNS, 2 NO. PROJECTING HANGING SIGNS AND 2 NO. MENU BOXES	25/07/2022	Permission be granted	Advertisements
A/22/00046/MNR	04/07/2022	STAYBRIDGE SUITS	ADV	HOLIDAY INN EXPRESS, LONGUEIL CLOSE, ATLANTIC WHARF, CARDIFF, CF10 4EE	NEW SIGNAGE	25/07/2022	Permission be granted	Advertisements
22/01358/MNR	14/07/2022	Bute Property Services Ltd	DOC	8 MOUNT STUART SQUARE, BUTETOWN, CARDIFF, CF10 5EE	DISCHARGE OF CONDITIONS 1 (METHOD STATEMENT FOR THE REMOVAL, STORAGE AND REINSTALLATION OF EXISTING SASH WINDOWS), 2 (REMOVAL OF LIGHTING, REDUNDANT FIXTURES AND FITTINGS FROM THE FRONT ELEVATION AND ITS REPAIR AND FINISH), 3 (REPAIR TO THE FRONT DOOR), 4 (CONTEMPORARY DORMER STYLE WINDOW), 5 (PROPOSED SASH WINDOWS TO THE REAR), 6 (SECONDARY GLAZING TO WINDOWS), 7 (PROPOSED BALUSTRADE TO THE REAR), 8 (PROPOSED EXTERNAL DOOR TO THE REAR) AND 9 (ROOFLIGHTS) OF LBC/21/00024/MNR	25/07/2022	Full Discharge of Condition	Discharge of Conditions

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22/01199/DCH	15/06/2022	Howells	HSE	1 ARLES ROAD, CAERAU, CARDIFF, CF5 5AN	ATTIC/LOFT CONVERSION WITH REAR FLAT ROOF DORMER AND HIP TO GABLE SIDE ROOF EXTENSIONS	25/07/2022	Permission be granted	Householder
CANTON								
22/00291/DCH	16/02/2022	Martin	HSE	11 BROADACRES, CANTON, CARDIFF, CF11 8DD	FIRST FLOOR SIDE EXTENSION, HIP TO GABLE ROOF EXTENSION WITH REAR DORMER, NEW PORCH, WIDENED DRIVEWAY ACCESS AND COVERED DINING SPACE TO REAR OF GARAGE	27/07/2022	Permission be granted	Householder
21/00955/MNR	21/04/2021	Sivagnanam	DOC	348-352 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1HD	DISCHARGE OF CONDITIONS 9 (SOUNDS INSULATION) AND 11 (FUME EXTRACTION) OF 20/02421/MNR	25/07/2022	Partial Discharge of Condition (s)	Discharge of Conditions
22/00628/MNR	28/03/2022	Ojla	FUL	544 COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1BN	CONVERSION OF DWELLING INTO 5NO. APARTMENTS WITH A TWC STOREY SIDE EXTENSION AND DORMER ROOF EXTENSIONS	25/07/2022	Planning Permission be refused	Minor - Dwellings (C3)
CATHAYS								
22/00948/MNR	03/05/2022	Rekom UK	FUL	4-6 MILL LANE, CITY CENTRE, CARDIFF, CF10 1FL	SITING OF SEMI ENCLOSED PAVILLION STRUCTURES TO PAVEMENT	25/07/2022	Planning Permission be refused	Minor - Retail (A1-A3)

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22/00776/MNR	17/05/2022	Atlantic	FUL	2 QUEEN STREET AND 2 ST JOHN STREET, CITY CENTRE, CARDIFF, CF10 2BU	CHANGE OF USE AND CONVERSION OF THE EXISTING PROPERTY TO FORM 7NO. SERVICED APARTMENTS / APARTHOTEL, AND EXTENSION TO THE FOURTH FLOOR	25/07/2022	Permission be granted	Other Consent Types
22/01074/MNR	23/05/2022	Quin Freehold Ltd & JP Acquisitions Ltd	FUL	42 MINNY STREET, CATHAYS CARDIFF, CF24 4ES	CHANGE OF USE FROM A C4 HOUSE IN MULTIPLE OCCUPATION TO A SEVEN PERSON HOUSE IN MULTIPLE OCCUPATION (SUI GENERIS), WITH REAR GROUND, SIDE AND FIRST FLOOR EXTENSIONS, REAR DORMER ROOF EXTENSION, INSERTION OF ROOF LIGHT TO THE FRONT ROOF PLANE AND ASSOCIATED ALTERATIONS	25/07/2022	Permission be granted	Minor - Dwellings (C3)
A/22/00052/MNR	01/07/2022	Various Eateries Trading Ltd	ADV	18 THE HAYES, CITY CENTRE, CARDIFF, CF10 1AH	NEW SIGNAGE	25/07/2022	Permission be granted	Advertisements
22/01106/MNR	09/06/2022	AKHONDI	FUL	17 HIRWAIN STREET, CATHAYS, CARDIFF, CF24 4JG	CONVERSION TO CLASS C4 HOUSE IN MULTIPLE OCCUPATION WITH GROUND AND FIRST FLOOR REAR EXTENSIONS AND DORMER ROOF CONVERSION	25/07/2022	Planning Permission be refused	Minor - Dwellings (C3)

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22/01150/MNR	27/05/2022	Cardiff Council,	DOC	CITY HALL, GORSEDD GARDENS ROAD, CATHAYS PARK, CARDIFF, CF10 3ND	DISCHARGE OF CONDITIONS 2 (METHOD STATEMENT AND CONDITIONS SURVEY) AND 3 (PROGRAMME FOR UNDERTAKING AN HISTORIC BUILDING RECORDING - ANALYTICAL RECORDING) OF 20/02340/MNR	28/07/2022	Withdrawn by Applicant	General Regulations

CREIGAU/ST FAGANS

22/01157/MNR	31/05/2022	Rontec Service Stations 1A Limited	FUL	CARDIFF WEST SERVICES, MOTORWAY JUNCTION 33, CREIGIAU, PONTYCLUN, CF72 8SA	INSTALLATION OF 5NO. ELECTRIC VEHICLE CHARGING BAYS AND ASSOCIATED INFRASTRUCTURE INCLUDING THE RELOCATION OF AN EXISTING SUB-STATION	25/07/2022	Permission be granted	Other Consent Types
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CYNCOED

22/01049/DCH	20/05/2022	Powell	HSE	22 HAMPTON CRESCENT WEST, CYNCOED, CARDIFF, CF23 6RB	SIDE AND REAR EXTENSION, ENLARGEMENT TO ROOF AND DORMER ROOF EXTENSIONS	25/07/2022	Permission be granted	Householder
22/00870/DCH	27/04/2022	Yasin	HSE	32 LLANDENNIS ROAD, CYNCOED, CARDIFF, CF23 6EG	TWO STOREY SIDE EXTENSION AND SINGLE STOREY REAR EXTENSION WITH ASSOCIATED WORKS	25/07/2022	Planning Permission be refused	Householder
22/01037/DCH	30/05/2022	Marsh	HSE	12 LLANDENNIS AVENUE, CYNCOED, CARDIFF, CF23 6JG	SINGLE STOREY REAR EXTENSION	25/07/2022	Permission be granted	Householder

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<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/01211/MNR	28/06/2022	WAI CHAN	FUL	128A COWBRIDGE ROAD WEST, ELY, CARDIFF, CF5 5BT	GROUND FLOOR REAR EXTENSION	27/07/2022	Permission be granted	Minor - Retail (A1-A3)

GRANGETOWN

LBC/22/00018/MNR	03/03/2022	Network Rail	LBC	CARDIFF CENTRAL RAILWAY RENEWAL, STATION, CENTRAL SQUARE CITY CENTRE	REPLACEMENT, AND INSTALLATION OF CCTV CAMERAS	27/07/2022	Permission be granted	Listed Buildings
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22/01156/MNR	01/06/2022	McDonald's Restaurants Ltd	FUL	MCDONALDS, CARDIFF BAY RETAIL PARK, FERRY ROAD, GRANGETOWN, CARDIFF, CF11 0JR	REFURBISHMENT OF RESTAURANT TO INCLUDE CHANGES TO ELEVATIONS WITH THE CONSTRUCTION OF EXTENSIONS, RELOCATION OF ENTRANCE LOBBY, NEW ACCESS DOOR AND EXTENDED ROOF LINE; REPLACEMENT GLAZING TO SHOPFRONT AND DRIVE THRU BOOTHS WITH THE ADDITION OF NEW CLADDING TO ELEVATIONS; RECONFIGURATION OF THE BOH WITH EXTENDED FREEZER/CHILLER AND CORRAL AREA; RELOCATION OF ONE ACCESSIBLE BAY AND ASSOCIATED WORKS TO THE SITE AND MINOR RELOCATION OF 4 NO. EXISTING FASCIA SIGNS	25/07/2022	Permission be granted	Other Consent Types
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HEATH

22/01189/DCH	07/06/2022	Jones	HSE	46 KING GEORGE V DRIVE WEST, HEATH, CARDIFF, CF14 4EE	SINGLE STOREY REAR AND SIDE EXTENSION	25/07/2022	Permission be granted	Householder
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22/01193/DCH	15/06/2022	Buckland	NMH	50 HOMELANDS ROAD, BIRCHGROVE, CARDIFF, CF14 1UJ	RAISING THE LEAN-TO ROOF BY 390MM ALONG WITH RAISING THE WINDOW CILL TO THE REAR ELEVATION BEDROOM - PREVIOUSLY APPROVED UNDER 21/01312/DCH	25/07/2022	Permission be granted	Non Material Householder

LISVANE

21/03032/DCH	03/02/2022	Wheeler	HSE	27 HEOL ST DENYS, LISVANE, CARDIFF, CF14 0RU	TWO STORY SIDE AND SINGLE STOREY REAR EXTENSIONS WITH REAR DORMER ROOF EXTENSION	25/07/2022	Withdrawn by Applicant	Householder
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LLANDAFF

22/00850/DCH	27/05/2022	Wilkins	HSE	15 PALACE ROAD, LLANDAFF CARDIFF, CF5 2AF	SINGLE STOREY REAR EXTENSION	25/07/2022	Permission be granted	Householder
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22/01081/DCH	08/06/2022	Bowen	HSE	11 INSOLE GROVE WEST, LLANDAFF, CARDIFF, CF5 2HH	ESTYNIAD CEFN LLAWR GWAELOD A CHYNTAF GROUND AND FIRST FLOOR REAR EXTENSION	25/07/2022	Permission be granted	Householder
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22/01158/DCH	07/06/2022	Clarke	HSE	3 FORDWELL, LLANDAFF, CARDIFF, CF5 2EU	PROPOSED FRONT RAILINGS TO FRONT STEPS OF PROPERTY	25/07/2022	Permission be granted	Householder
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22/01251/DCH	17/06/2022	Hughes	HSE	16 BUCKLEY CLOSE, DANESCOURT, CARDIFF, CF5 2DF	TWO STOREY SIDE EXTENSION WITH DRIVEWAY IMPROVEMENTS	27/07/2022	Permission be granted	Householder
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LLANISHEN

22/00572/MNR	14/03/2022	MORRIS	FUL	1A KIMBERLEY TERRACE, LLANISHEN, CARDIFF, CF14 5EA	CONVERSION TO STUDIO FLAT AT FIRST FLOOR WITH EXISTING OFFICE AT GROUND FLOOR	27/07/2022	Planning Permission be refused	Minor - Dwellings (C3)
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22/01097/DCH	26/05/2022	Anvari	HSE	91 LLANGRANOG ROAD, LLANISHEN, CARDIFF, CF14 5BN	SINGLE STOREY SIDE AND REAR EXTENSIONS, LOFT CONVERSION WITH REAR DORMER, NEW PORCH, AND NEW OFF ROAD PARKING ON FRONT GARDEN	25/07/2022	Permission be granted	Householder

LLANRUMNEY

22/01105/DCH	27/05/2022	Smith	HSE	7 PATCHWAY CRESCENT, LLANRUMNEY, CARDIFF, CF3 4AH	DEMOLITION AND RE-BUILD/RE-MODEL OF REAR ACCESS STEPS WITH PATIOS DOORS AND REAR GROUND FLOOR LEVEL TERRACE AND BALUSTRADE	25/07/2022	Permission be granted	Householder
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PENTYRCH AND ST FAGANS

22/01100/DCH	26/05/2022	Davies	HSE	70 MAES-Y-SARN, PENTYRCH, CARDIFF, CF15 9QR	DEMOLITION OF EXISTING GARAGE AND NEW TWO STOREY SIDE EXTENSION ALTERATIONS TO EXISTING ROOF OVER GARDEN ROOM ADDITIONAL HARD LANDSCAPING TO THE FRONT	25/07/2022	Permission be granted	Householder
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PENYLAN

22/00849/DCH	05/05/2022	Caffell	HSE	7 LOTHIAN CRESCENT, PENYLAN, CARDIFF, CF23 9HY	SINGLE AND DOUBLE STOREY SIDE AND REAR EXTENSION WITH FRONT AND REAR DORMER ROOF EXTENSIONS AND CREATION OF NEW VEHICULAR ACCESS TO FACILITATE OFF-STREET PARKING	25/07/2022	Planning Permission be refused	Householder
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PLASNEWYDD

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22/01206/MNR	15/06/2022	Chegiunchei	FUL	13 THE WALK, ROATH, CARDIFF, CF24 3AF	PROPOSED REAR EXTENSIONS AND DORMER EXTENSION TO FRONT ELEVATION CONVERTING 5NO. FLATS TO 7NO. FLATS	26/07/2022	Withdrawn by Applicant	Minor - Dwellings (C3)
22/00089/MNR	19/01/2022	J Sherlock and Sons	FUL	J SHERLOCK & SON LIMITED THE GARAGE, DALCROSS STREET, ROATH, CARDIFF, CF24 4SE	FIRST FLOOR EXTENSION TO THE FRONT AND SIDE ELEVATION	27/07/2022	Permission be granted	Minor - Other Principal Uses

PONTPRENNAU/OLD ST MELLONS

19/02648/MJR	04/10/2019	United Welsh in association with Edenstone Homes	FUL	LAND NORTH OF TY-DRAW ROAD, PONTPRENNAU, CARDIFF, CF14 0PF	DEVELOPMENT OF 45 AFFORDABLE HOUSING UNITS WITH ASSOCIATED HIGHWAYS AND DRAINAGE INFRASTRUCTURE. DEVELOPMENT ALSO INCLUDES THE DEMOLITION OF NO. 43 CLOS NANT GLASWG TO ALLOW FOR THE CONSTRUCTION OF A PEDESTRIAN FOOTPATH/CYCLEWAY.	25/07/2022	Permission be granted	Major - Dwellings (C3)
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22/00454/DCH	08/03/2022	Richards	HSE	7 CAPEL EDEYRN, PONTPRENNAU, CARDIFF, CF23 8XJ	SINGLE STOREY REAR EXTENSION AND RAISE HEIGHT OF MAIN ROOF WITH REAR DORMER AMENDED PLANS RECEIVED 01/07/2022	29/07/2022	Permission be granted	Householder
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RHIWBINA

22/01478/DCH	12/07/2022	Bown	NMH	36 HEOL WEN, RHIWBINA, CARDIFF, CF14 6EG	REPLACE THE EXTERNAL TIMBER CLADDING WITH STONE CLADDING - PREVIOUSLY APPROVED UNDER 21/01094/DCH	25/07/2022	Permission be granted	Non Material Householder
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22/01229/DCH	09/06/2022	Frazer	HSE	1 TY-WERN ROAD, RHIWBINA, CARDIFF, CF14 6AA	ERECTION OF A REPLACEMENT STORM PORCH TO THE FRONT ELEVATION	25/07/2022	Permission be granted	Householder
22/01246/DCH	13/06/2022	Rawnsley	HSE	9 HEOL IFOR BACH, RHIWBINA, CARDIFF, CF14 6AY	SINGLE STOREY EXTENSION TO SIDE AND REAR OF PROPERTY	25/07/2022	Permission be granted	Householder

RIVERSIDE

22/00919/MNR	03/05/2022	SOUTH RIVERSIDE COMMUNITY DEVELOPMENT CENTRE	FUL	56 MACHEN PLACE, RIVERSIDE, CARDIFF, CF11 6EQ	PROPOSED NEW DOORS, CANOPY AND RAMPED ACCESS TO WESTERN ELEVATION OF SITE	25/07/2022	Permission be granted	Other Consent Types
22/01165/DCH	06/06/2022	VORA	HSE	45 TALBOT STREET, PONTCANNA, CARDIFF, CF11 9BW	SINGLE STOREY EXTENSION AND REAR DORMER EXTENSION	25/07/2022	Permission be granted	Householder
22/00243/DCH	04/05/2022	Hill	FUL	FLAT 11, CONNAUGHT HOUSE, 45 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9HD	REPLACE 6NO. SINGLE GLAZED WOODEN WINDOWS WITH DOUBLE GLAZED WINDOW UNITS	27/07/2022	Permission be granted	Other Consent Types

SPLOTT

22/01435/MNR	11/07/2022	Clark	DOC	RAILWAY GARDENS COMMUNITY SITE, ADELINE STREET, SPLOTT, CARDIFF, CF24 2BH	DISCHARGE OF CONDITIONS 7 AND 8 (IMPORTED SOIL AND AGGREGATES) OF 20/00385/MNR	25/07/2022	Full Discharge of Condition	Discharge of Conditions
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WHITCHURCH/TONGWYNLAIS

22/00677/DCH	04/04/2022	Pearce	HSE	5 THE PARADE, WHITCHURCH, CARDIFF, CF14 2EE	LOFT CONVERSION WITH THE INSTALLATION OF VELUX ROOF WINDOWS AND INSTALLATION OF AIF CONDITIONING UNIT	29/07/2022	Permission be granted	Householder
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22/00960/MNR	05/05/2022	Holmes Dental Care	FUL	7 BISHOP'S ROAD, WHITCHURCH, CARDIFF, CF14 1LT	DEMOLITION OF EXISTING FRONT PORCH AND EXISTING SINGLE-STOREY GARAGE STRUCTURE (USED AS AUXILIARY SPACE TO THE DENTAL PRACTICE) AND THE ERECTION OF A NEW SINGLE-STOREY SIDE AND REAR EXTENSION AND NEW REPLACEMENT PORCH WITH ENTRANCE DOORS AND ASSOCIATED WORK SUCH AS GENERAL ALTERATIONS, REFURBISHMENT WORK, AND EXTERNAL WORKS	29/07/2022	Permission be granted	Minor - Other Principal Uses